



DUSTON PARISH COUNCIL

Parish Office
Duston Community Centre
Pendle Road
NORTHAMPTON
NN5 6DT

Tel: 01604 583626
Email: office@duston-pc.gov.uk
Web: www.duston-pc.gov.uk
Twitter: @Duston_PC
Facebook: @DustonPC

PLANNING COMMITTEE

Cllr Mike Ingram (Chair), Cllr Mike Pepper (Vice-Chair),
Cllr Alan Bottwood, Cllr David Huffadine-Smith,
Cllr Sandie Maitland, Cllr Shaun Pape, Cllr Ken Clarke

23rd November 2018

Dear Councillor,

You are hereby summoned to a meeting of Duston Parish Council in Duston Community Centre, Pendle Road, Duston, NN5 6DT on **Thursday 29th November 2018 6:15pm** when the following business will be transacted.

AGENDA

23. To receive apologies for absence

24. To receive and approve the minutes of the meeting held on Thursday 1st November 2018 -(APPENDIX A)

25. To receive declarations of interest under the Council's Code of Conduct related to business on the agenda (Members should disclose any interests in the business to be discussed and are reminded that the disclosure of a Disclosable Pecuniary Interest will require that the member withdraws from the meeting room during the transaction of that item of business).

26. Public participation session (Persons wishing to address Council may register their intention to do so at the above address by telephone or email by 12 noon on the day of the meeting and may speak for a maximum of 3 minutes).

27. Planning Applications

27(a)

N/2018/1566, 16 Handley Close, Duston, Northamptonshire, NN5 6XS

Two storey side extension and single storey extension to rear of existing kitchen and side of existing dining room

Justin Gleich

Signed on original

Clerk to Duston Parish Council

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PLANNING COMMITTEE**MINUTES 1st NOVEMBER 2018**

CHAIRMAN OF COMMITTEE: Cllr Ingram, in the Chair

PRESENT: Cllrs Pepper, Huffadine-Smith, Maitland

IN ATTENDANCE:

Gary Youens – Deputy Clerk

18. To receive apologies for absence

Cllr Pape

19. To receive and approve the minutes of the meeting held on 27th September 2018 -

It was RESOLVED:

- To approve the minutes of the previous meeting and the Chairman authorised to sign the same (APPENDIX A).

20. To receive declarations of interest under the Council's Code of Conduct related to business on the agenda

None

21. Public participation session

None

22. Planning applications

22(a)

N/2018/1358, 33 Woodhill Road, Northampton, NN5 6SQ

First floor side extension with open carport below, single storey rear extension and new window to first floor front elevation

It was RESOLVED:

We have a concern that the application is not keeping in with the street scene. It will create a different visual effect. Duston Neighbourhood Plan 2.19 states the principal of "protect the neighbourhood and street scene character".

22(b)

N/2018/1429, 13 Ryeland Road, Northampton, NN56QE

Construction of new one and a half storey 3 bed detached dwelling

It was RESOLVED:

Duston Parish Council has no observation or objections on the application.

22(c)

N/2018/1374, 3 Prestbury Court, Northampton, NN5 6XT

Level off bottom of garden and erection of timber shed (part retrospective)

It was RESOLVED:

Duston Parish Council has no observation or objections on the application.

**Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990**

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	16
Suffix	
Property name	
Address line 1	Handley Close
Address line 2	
Address line 3	
Town/city	Northampton
Postcode	NN5 6XS

Description of site location must be completed if postcode is not known:

Easting (x)	471198
Northing (y)	262087

Description

--

2. Applicant Details

Title	Mr
First name	Craig
Surname	Humphreys
Company name	
Address line 1	16, Handley Close
Address line 2	
Address line 3	
Town/city	Northampton
Country	

2. Applicant Details

Postcode	NN5 6XS
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

Yes No

3. Agent Details

Title	Mr
First name	Lee
Surname	Randall
Company name	LMR Designs
Address line 1	15 Duncan Close
Address line 2	15 Duncan Close
Address line 3	Moulton Park
Town/city	Northampton
Country	United Kingdom
Postcode	NN3 6WL
Primary number	01604492100
Secondary number	
Fax number	
Email	qudus@lmrdesigns.co.uk

4. Description of Proposed Works

Please describe the proposed works:

Two storey side extension & single storey extension to rear of existing kitchen & side of existing dining room.

Has the work already been started without planning permission?

Yes No

5. Materials

Does the proposed development require any materials to be used in the build?

Yes No

Please provide a description of existing and proposed materials and finishes to be used in the build (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Brickwork & rendering

5. Materials

Walls	
Description of proposed materials and finishes:	To match existing

Roof	
Description of existing materials and finishes (optional):	Large format plain roof tiles
Description of proposed materials and finishes:	To match existing

Windows	
Description of existing materials and finishes (optional):	White uPvc
Description of proposed materials and finishes:	To match existing

Doors	
Description of existing materials and finishes (optional):	White uPvc
Description of proposed materials and finishes:	To match existing

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- The agent
- The applicant
- Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
- The agent

Title	<input type="text" value="Mr"/>
First name	<input type="text" value="Lee"/>
Surname	<input type="text" value="Randall"/>
Declaration date (DD/MM/YYYY)	<input type="text" value="13/11/2018"/>

Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf**

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief..

1. Application Details

Applicant or Agent Name:

LMR Designs

Planning Portal Reference
(if applicable):

Local authority planning application number
(if allocated):

Site Address:

16 Handley Close
Northampton
NN5 6XS

Description of development:

Two storey side extension & single storey extension to rear of existing kitchen & side of existing dining room.

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes

Please enter the application number:

No

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes No

b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

c) None of the above

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes No

b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 - 'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.gov.uk/cil

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered yes to c) please also complete a CIL Form 7- '**Self Build Exemption Claim Form: Part 1**' available from www.planningportal.gov.uk/cil. Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes No

If you have answered yes to d) please also complete either CIL Form 8 - '**Self Build Residential Annex Exemption Claim Form**' or CIL Form 9 - '**Self Build Extension Exemption Claim Form**' available from www.planningportal.gov.uk/cil. Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development, in order to benefit from relief from the levy

5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes Please enter the application number:

No

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.

6. Proposed New Floorspace

a) Does your application involve new **residential floorspace** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes No

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new **non-residential floorspace**?

Yes No

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential floorspace				
Total non-residential floorspace				
Total floorspace				

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?		When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
					Yes <input type="checkbox"/>	No <input type="checkbox"/>	
1					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace							

7. Existing Buildings continued

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings **into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?** If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building?

Yes No

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

8. Declaration

I/we confirm that the details given are correct.

Name:

Lee Randall

Date (DD/MM/YYYY). Date cannot be pre-application:

13/11/2018

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:

PLANNING CONSULTATION LIST

Application Reference	N/2018/1566
Location	16 Handley Close, Northampton, NN5 6XS
Proposal	Two storey side extension and single storey extension to rear of existing kitchen and side of existing dining room

CONSULTEES

Name	Type	Sent Date	Expiry Date
Duston Parish Council	Consultation	22/11/2018	13/12/2018
Cllr John Caswell	Consultation	22/11/2018	13/12/2018
Cllr Matthew Golby	Consultation	22/11/2018	13/12/2018
Duston Parish Council - Neighbourhood Forum	Consultation	22/11/2018	13/12/2018

Overall Consults Expiry Date: 13 December 2018

Overall Re-Consults Expiry Date:

NEIGHBOURS

Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
15 Handley Close Northampton NN5 6XS	22/11/2018	13/12/2018		
17 Handley Close Northampton NN5 6XS	22/11/2018	13/12/2018		
25 Wrenbury Road Northampton NN5 6XW	22/11/2018	13/12/2018		
27 Wrenbury Road Northampton NN5 6XW	22/11/2018	13/12/2018		

29 Wrenbury Road Northampton NN5 6XW	22/11/2018	13/12/2018		
5 Prestbury Road Northampton NN5 6XP	22/11/2018	13/12/2018		
7 Prestbury Road Northampton NN5 6XP	22/11/2018	13/12/2018		
9 Prestbury Road Northampton NN5 6XP	22/11/2018	13/12/2018		

Overall Neighbour Expiry Date: 13 December 2018

Overall Neigh Re-consults Expiry Date:



NORTHAMPTON
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Planning Department
The Guildhall
St Giles Square
Northampton. NN1 1DE

Tel: 0300 330 7000
Minicom: (01604) 838970
-Mail: planning@northampton.gov.uk

Duston Parish Council
Duston Parish Council
Duston Community Centre
Pendle Road
Northampton
NN5 6DT

Our Ref: N/2018/1566
Contact: Kanchan Sharma
Telephone No: 0300 330 7000 Option 6
Email: planning@northampton.gov.uk
Date: 22 November 2018

Dear Sir/Madam

TOWN & COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(ENGLAND) ORDER 2015

PROPOSAL: TWO STOREY SIDE EXTENSION AND SINGLE STOREY
EXTENSION TO REAR OF EXISTING KITCHEN AND SIDE OF
EXISTING DINING ROOM

LOCATION: 16 HANDLEY CLOSE, NORTHAMPTON, NN5 6XS

We are in receipt of the above application and would be grateful for any observations which you may wish to make. They should reach the Planning Division no later than **21 days** from the date of this email.

Please follow the link below in order to view plans and information regarding this application. Insert reference N/2018/1566 into the Application Number search box and click submit. Please note, only this one box needs to be filled in, and it can take up to 2 hours to appear online from the time of this email being sent to you.

<http://planning.northamptonboroughcouncil.com/planning>

Please send your response to planning@northampton.gov.uk

If no comments are received within this period it will be assumed that you have no observations to make.

Yours faithfully

K.S.

Kanchan Sharma
Planning Officer
Planning Service



NORTHAMPTON
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Planning Department
The Guildhall
St Giles Square
Northampton. NN1 1DE

Tel: 0300 330 7000
Minicom: (01604) 838970
Email: planning@northampton.gov.uk

Cllr Matthew Golby
New Duston Ward Councillor

Our Ref: N/2018/1566
Contact: Kanchan Sharma
Telephone No: 0300 330 7000 Option 6
Email: planning@northampton.gov.uk
Date: 22 November 2018

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(ENGLAND) ORDER 2015

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Yours faithfully

K.S.

Kanchan Sharma
Planning Officer
Planning Service



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Duston Parish Council - Neighbourhood
Forum
Duston Parish Council - Neighbourhood
Forum
Duston Community Centre
Pendle Road
Duston
Northampton NN5 6DT

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Contact: Kanchan Sharma
Telephone No: 0300 330 7000 Option 6
Email: planning@northampton.gov.uk
Date: 22 November 2018

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TOWN & COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(ENGLAND) ORDER 2015

**PROPOSAL: TWO STOREY SIDE EXTENSION AND SINGLE STOREY
EXTENSION TO REAR OF EXISTING KITCHEN AND SIDE OF
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LOCATION: 16 HANDLEY CLOSE, NORTHAMPTON, NN5 6XS

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Yours faithfully

K.S.

Kanchan Sharma
Planning Officer
Planning Service



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Tel: 0300 330 7000
Minicom: (01604) 838970
E-Mail: planning@northampton.gov.uk

Clr John Caswell
New Duston Ward Councillor

Our Ref: N/2018/1566
Contact: Kanchan Sharma
Telephone No: 0300 330 7000 Option 6
Email: planning@northampton.gov.uk
Date: 22 November 2018

Dear Sir/Madam

TOWN & COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(ENGLAND) ORDER 2015

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<http://planning.northamptonboroughcouncil.com/planning>

Please send your response to planning@northampton.gov.uk

If no comments are received within this period it will be assumed that you have no observations to make.

Yours faithfully

K.S.

Kanchan Sharma
Planning Officer
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Planning Department
The Guildhall
St Giles Square
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Tel: 0300 330 7000
Minicom: (01604) 838970

E-Mail: planning@northampton.gov.uk

The Occupier
15 Handley Close
Northampton
NN5 6XS

Our Ref: N/2018/1566
Contact: Kanchan Sharma
Telephone no: 0300 330 7000 option 6
Email: planning@northampton.gov.uk
Date: 22 November 2018

Dear Sir/Madam

**TOWN & COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND)
ORDER 2015**

PROPOSAL: TWO STOREY SIDE EXTENSION AND SINGLE STOREY EXTENSION TO REAR
OF EXISTING KITCHEN AND SIDE OF EXISTING DINING ROOM

LOCATION: 16 HANDLEY CLOSE, NORTHAMPTON, NN5 6XS

The above application has recently been received and I am writing to you as the occupier of premises in the vicinity of the site.

The application documents including plans are now available to view online at <http://planning.northamptonboroughcouncil.com/planning> entering the reference number as shown above. You can also view the documents and plans electronically in our reception which is open Monday - Friday 9.00am- 5.00pm. Paper files may not always be available and you must call to pre-arrange a convenient time to inspect these if required by calling Planning Support Services on 0300 330 7000.

Any comments you wish to make regarding the application may be made via our website or in writing. Any observations you make should relate to the proposal, land issues and not property values. They should reach the Council at the above address, not later than **21 days** from the date of this letter.

Any written observation received will be taken into account in determining this application but you must appreciate that your views are just one of the factors which will influence the decision. Feel free to show this letter to any of your neighbours - it is not necessary to have received a letter in order to comment. If you do not own the property which you occupy I would be grateful if you would inform the owner of the contents of this letter.

I must advise you that all comments received in respect of prior notification applications will become background papers (as defined in the Access to Information Act 1985) and accordingly will be available for public inspection.

For further information on how and why we use your personal data, please refer to www.northampton.gov.uk/planningprivacynotice.

If you wish to receive an acknowledgement of receipt of your comments, please provide a valid email address or a stamped, self-addressed envelope.

It may be that details of this application have been publicised by press notice or site notice and the date shown thereon (if later than advised above) is the last date by which observations will be accepted. If you require any further information of a general nature about this application you are advised to contact the Planning Department on 0300 330 7000.

Yours faithfully

K.S.

Kanchan Sharma
Planning Officer
Planning Service



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E-Mail: planning@northampton.gov.uk

The Occupier
17 Handley Close
Northampton
NN5 6XS

Our Ref: N/2018/1566
Contact: Kanchan Sharma
Telephone no: 0300 330 7000 option 6
Email: planning@northampton.gov.uk
Date: 22 November 2018

Dear Sir/Madam

**TOWN & COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND)
ORDER 2015**

**PROPOSAL: TWO STOREY SIDE EXTENSION AND SINGLE STOREY EXTENSION TO REAR
OF EXISTING KITCHEN AND SIDE OF EXISTING DINING ROOM**

LOCATION: 16 HANDLEY CLOSE, NORTHAMPTON, NN5 6XS

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Yours faithfully

K.S.

Kanchan Sharma
Planning Officer
Planning Service



NORTHAMPTON
BOROUGH COUNCIL

Planning Department
The Guildhall
St Giles Square
Northampton. NN1 1DE

Tel: 0300 330 7000
Minicom: (01604) 838970
E-Mail: planning@northampton.gov.uk

The Occupier
25 Wrenbury Road
Northampton
NN5 6XW

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Contact: Kanchan Sharma
Telephone no: 0300 330 7000 option 6
Email: planning@northampton.gov.uk
Date: 22 November 2018

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ORDER 2015**

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27 Wrenbury Road
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5 Prestbury Road
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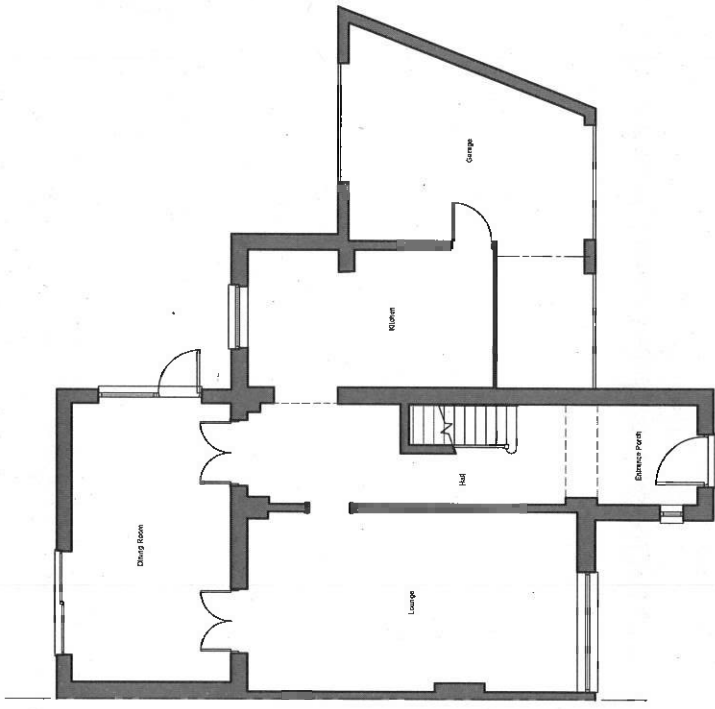
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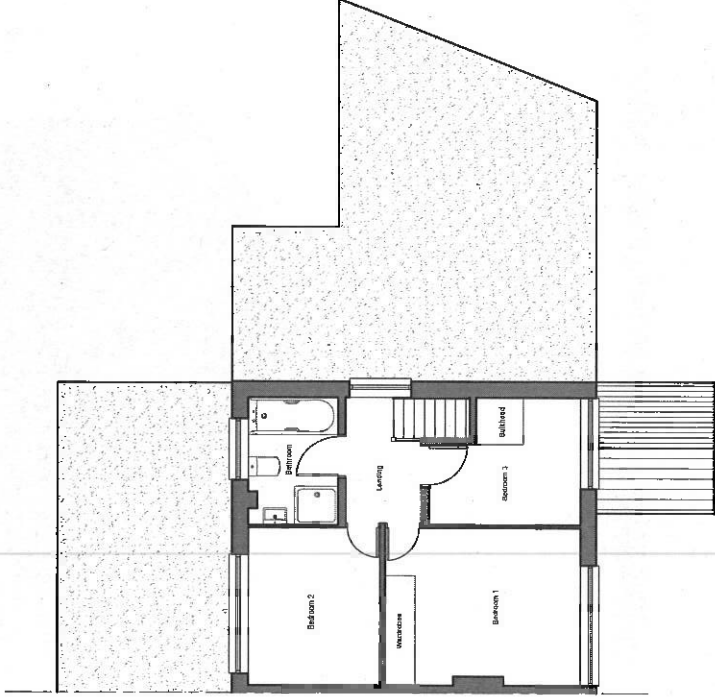
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Existing Ground Floor Plan



Existing First Floor Plan

NOTES

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Do not scale. Only figured dimensions to be worked to. Any discrepancies are to be reported to LMR Design immediately.

LMR Designs Ltd., Company Number 8881294

notes

rev.	detail	by	date

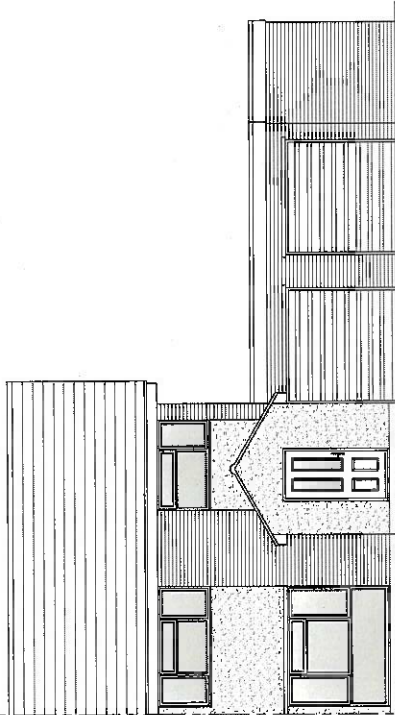
LMR designs
architectural and development

15 Dunsen Close
 Naulton Park
 Northampton
 NN2 8WL

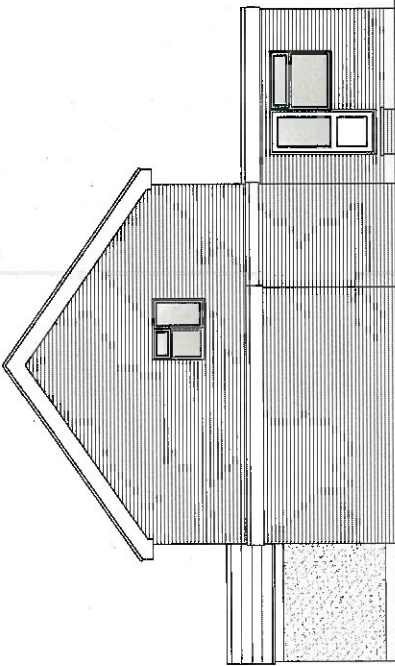
T: 01604 492100
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 E: info@lmdesigns.co.uk
 W: www.lmdesigns.co.uk

client:	Craig Humphreys		
site:	16 Handley Close, Duston		
drawing title:	Existing Floor Plans		
drafted by:	LMR	checked:	LMR
OR:		date:	Oct 2018
scale:	1:100 @A3	drawing number:	018 - 065 - 001
revision:		revision:	

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1:1250	0	25m	50m
1:625	0	5m	25m
1:200	0	2m	10m
1:100	0	1m	5m
1:50	0	0.5m	2m



Existing Front Elevation



Existing Side Elevation

NOTE

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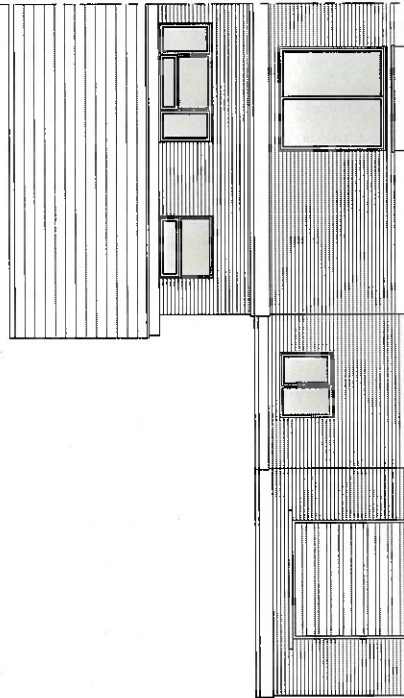
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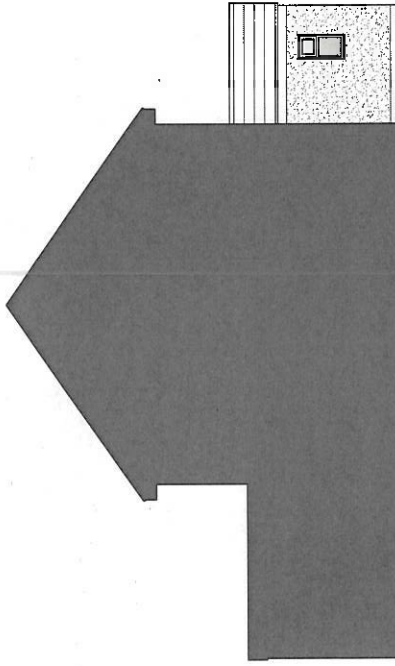
LMR Design Ltd. Company Number 8981294

NOTES

rev.	detail	by	date



Existing Rear Elevation



Existing Side Elevation



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 M: 07904 333447
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15 Duxton Close
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client

Craig Humphreys

site

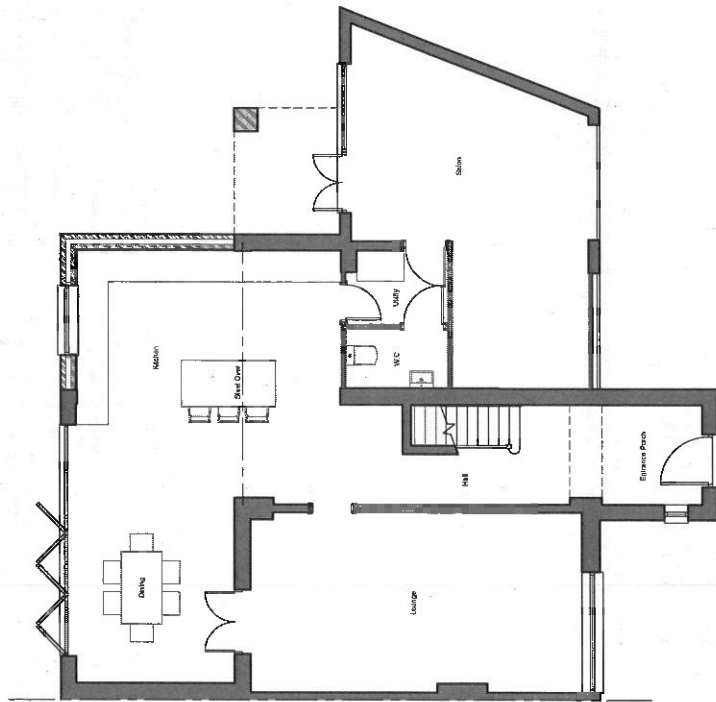
16 Handley Close, Duston

drawing title

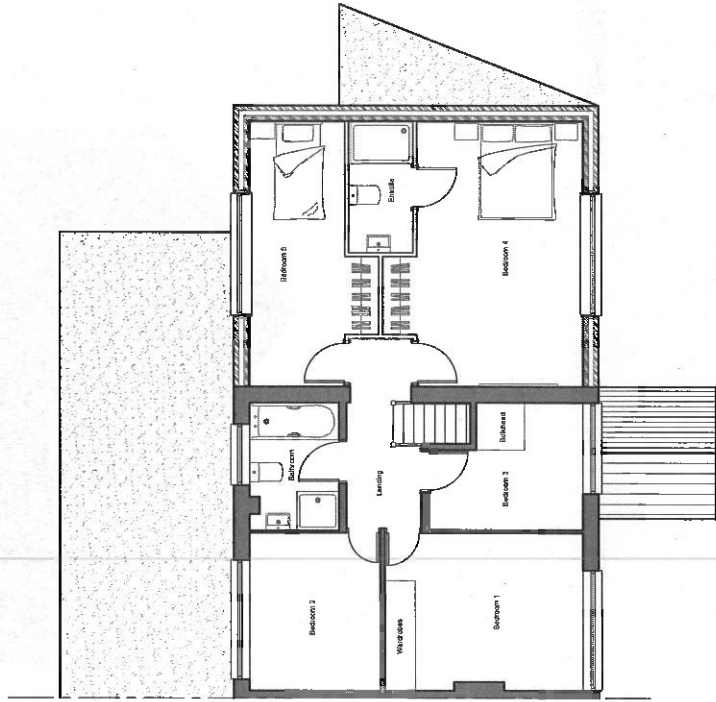
Existing Elevations

drawn by:	checked
QR	LMR
scale	date
1:100 @A3	Oct 2018
drawing number	revision
018 - 065 - 002	—

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1:50	0	1m
	0	0.5m



Proposed Ground Floor Plan



Proposed First Floor Plan

11000
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notes

rev.	detail	by	date



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 W: www.lmdesigns.co.uk
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 NN13 6NL

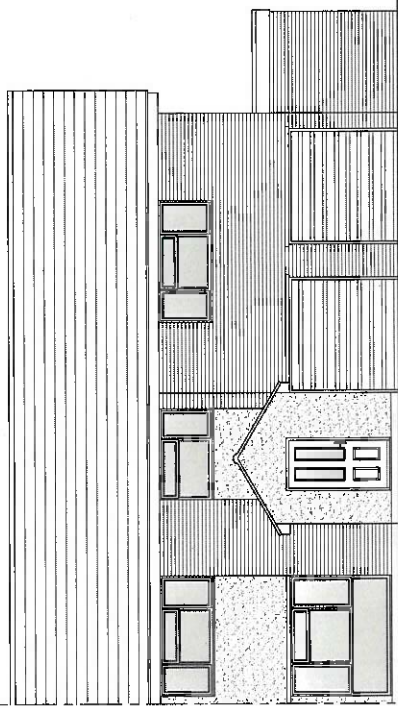
client
Craig Humphreys

size
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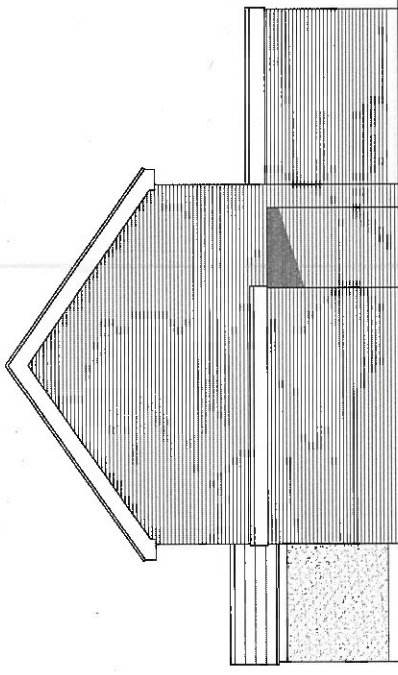
drawing title
Proposed Floor Plans

checked by:	checked
QR	LMR
scale	date
1:100 @A3	Oct 2018
drawing number	revision
018 - 065 - 003	—

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1:100	0	0.5m	1m
1:50	0	0.25m	0.5m



Proposed Front Elevation



Proposed Side Elevation

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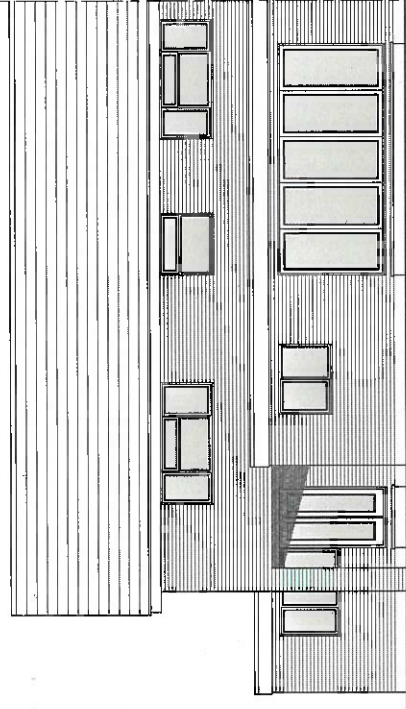
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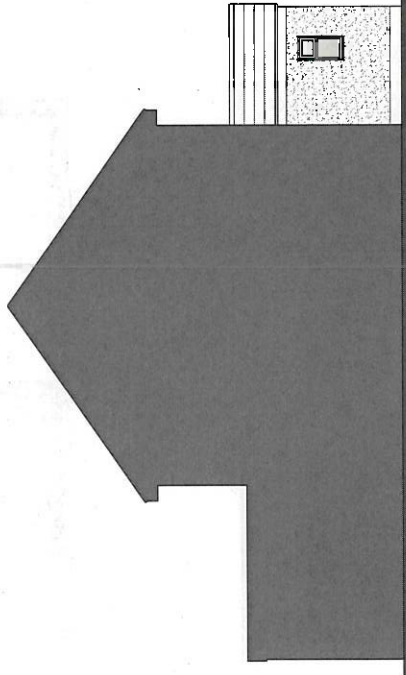
LMR Design Ltd. Company Number 898134

NOTES

rev.	detail	by	date



Proposed Rear Elevation



Proposed Side Elevation

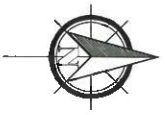
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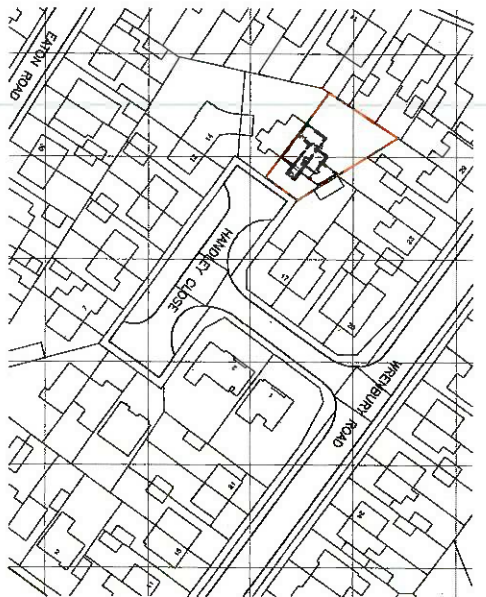
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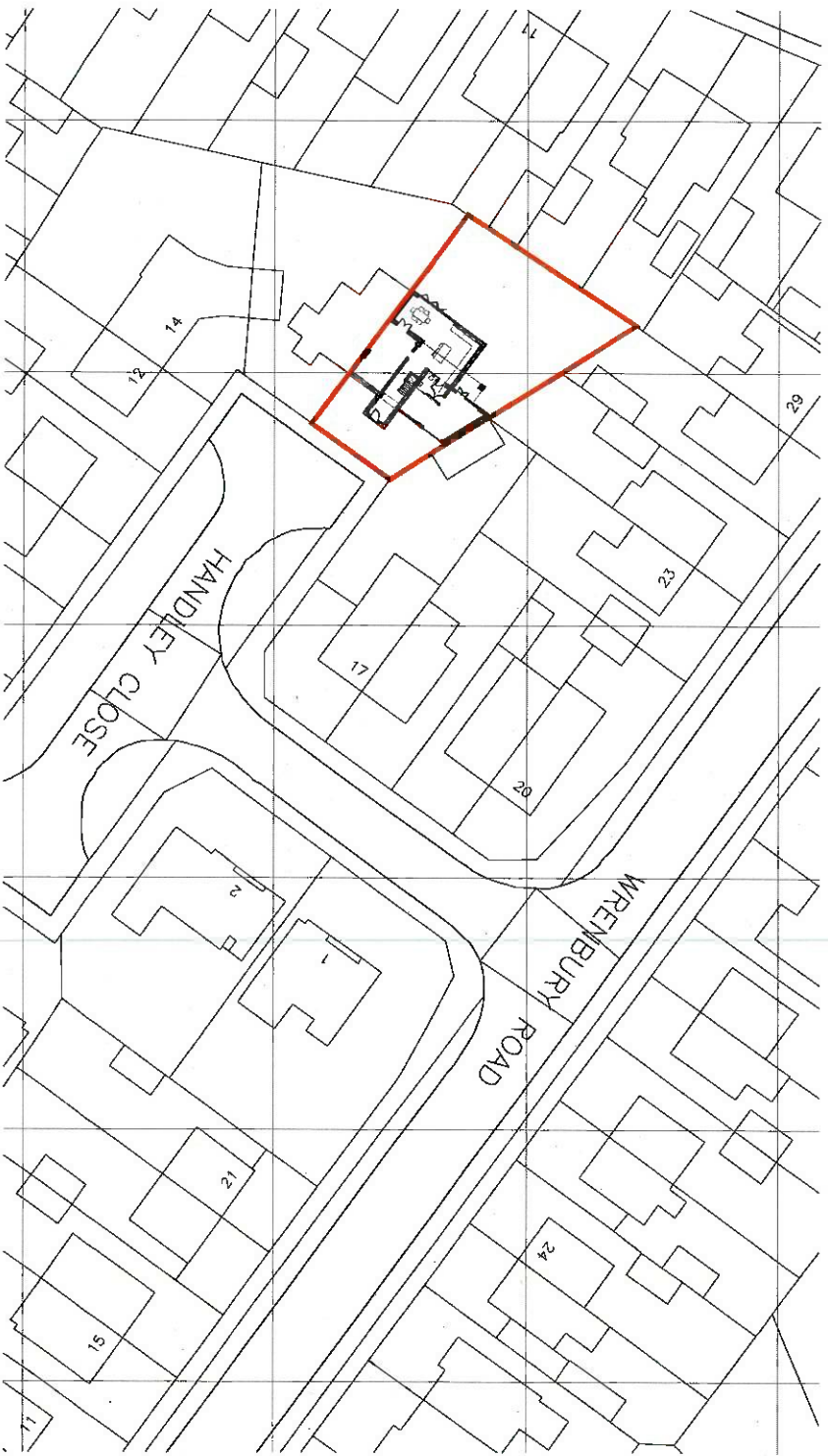
client	Craig Humphreys
site	16 Handley Close, Duston
drawing title	Existing Elevations
drafted by:	LMR
checked	LMR
scale	1:100 @A3
date	Oct. 2018
drawing number	018 - 065 - 004
revision	—



Location Plan | 1:250



Block Plan | 1:500



NOTES

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Scale	Horizontal	Vertical	Notes
1:2500	0	50m	100m
1:1250	0	25m	50m
1:500	0	10m	20m
1:200	0	4m	8m
1:150	0	2m	4m
1:50	0	0.5m	2m

rev.	detail	by	date
A	Amendment to block plan	QR	11/1/18



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client:
Craig Humphreys

site:
16 Handley Close, Duston

drawing title:
Location & Block Plan

scale	date	revision
1:500 & 1:1250 @A3	Oct 2018	A
drawing number		
018 - 065 - 005		

checked by:
 LMK

drawn by:
 QR

drawn number:
 018 - 065 - 005

