N/2019/0284

17 Harefoot Close, Northampton, NN5 6RS

Single storey rear and side extension

NESOLOFOSIN



Development Control

1st Floor, The Guildhall St. Giles Square Northampton, NN1 1DE

Tel: 0300 330 7000 / email: planning@northampton.gov.uk

Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address	(A)	
Number	17	
Suffix		
Property name		
Address line 1	Harefoot Close	
Address line 2		
Address line 3		
Town/city	Northampton	
Postcode	NN5 6RS	
Description of site local	tion must be completed if postcode is not known:	
Easting (x)	471879	
Northing (y)	261899	
Description		
	·	
2. Applicant Deta	ils	
2. Applicant Deta	ils Mr & Mrs	
Title		
Title First name	Mr & Mrs	
Title First name Surname	Mr & Mrs	
Title First name Surname Company name	Mr & Mrs Burtles	
Title First name Surname Company name Address line 1	Mr & Mrs Burtles	
Title First name Surname Company name Address line 1 Address line 2	Mr & Mrs Burtles	
Title First name Surname Company name Address line 1 Address line 2 Address line 3	Mr & Mrs Burtles 17 Harefoot Close	

2. Applicant Detai	ils	1980 2	
Postcode	NN5 6RS		
Primary number	distributed to the second		×
Secondary number			
Fax number	<i>P</i>		*
Email address			4 P
Are you an agent actin	g on behalf of the applicant?		⊙ Yes
3. Agent Details	The second secon		
Title	Mr		9
First name	Christopher		
Surname	Lane		a A
Company name	CS2		e e e e e e e e e e e e e e e e e e e
Address line 1	17 Gillsway		
Address line 2	Kingsthorpe		a · · ·
Address line 3		-	
Town/city	Northampton		2 ×
Country	United Kingdom		
Postcode	NN2 8HT		
Primary number	07896432543		e
Secondary number			
Fax number			
Email	chrisjameslane@hotmail.com		
4. Site Area			
What is the measuren (numeric characters of	nent of the site area? 308		
Unit	sq.metres		
			3
If you are applying for below.	ils of the proposed development or works including an		e the relevant details in the description
	ey rear and side extension.		Vec a No
Has the work or chan	ge of use already started?		© Yes ● No

6. Existing Use	
Please describe the current use of the site	
C3 Dwelling house - Detached family home	
Is the site currently vacant?	⊚ Yes ⊚ No
Does the proposal involve any of the following? If Yes, you will need	d to submit an appropriate contamination assessment with your application.
Land which is known to be contaminated	⊚Yes ⊚No
Land where contamination is suspected for all or part of the site	⊚ Yes ⊚ No
A proposed use that would be particularly vulnerable to the presence of	contamination
7. Materials	
Does the proposed development require any materials to be used in the	build?
Please provide a description of existing and proposed materials and material):	d finishes to be used in the build (including type, colour and name for each
Walls	
Description of existing materials and finishes (optional):	Existing buff fairfaced brickwork, laid in traditional stretcher bond with cement mortar.
Description of proposed materials and finishes:	Style to match existing buff fairfaced brickwork, laid in traditional stretcher bond with cement mortar colour matched to existing.
Windows	
Description of existing materials and finishes (optional):	Brown uPVC
Description of proposed materials and finishes:	Anthracite Grey uPVC; style to match existing.
Doors	
Description of existing materials and finishes (optional):	Brown uPVC.
Description of proposed materials and finishes:	Anthracite Grey uPVC; style to match existing.
Vehicle access and hard standing	
Description of existing materials and finishes (optional):	Brindle block paving.
Description of proposed materials and finishes:	No alterations to existing proposed.
Lighting	
Description of existing materials and finishes (optional):	Halogen wall mounted floodlighting.
Description of proposed materials and finishes:	Low voltage LED stainless steel up/downlighters to face of new extension.
Roof	
Description of existing materials and finishes (optional):	Timber trussed roof construction, with clay roman style brown roof tiles and matching rounded ridge tiles.

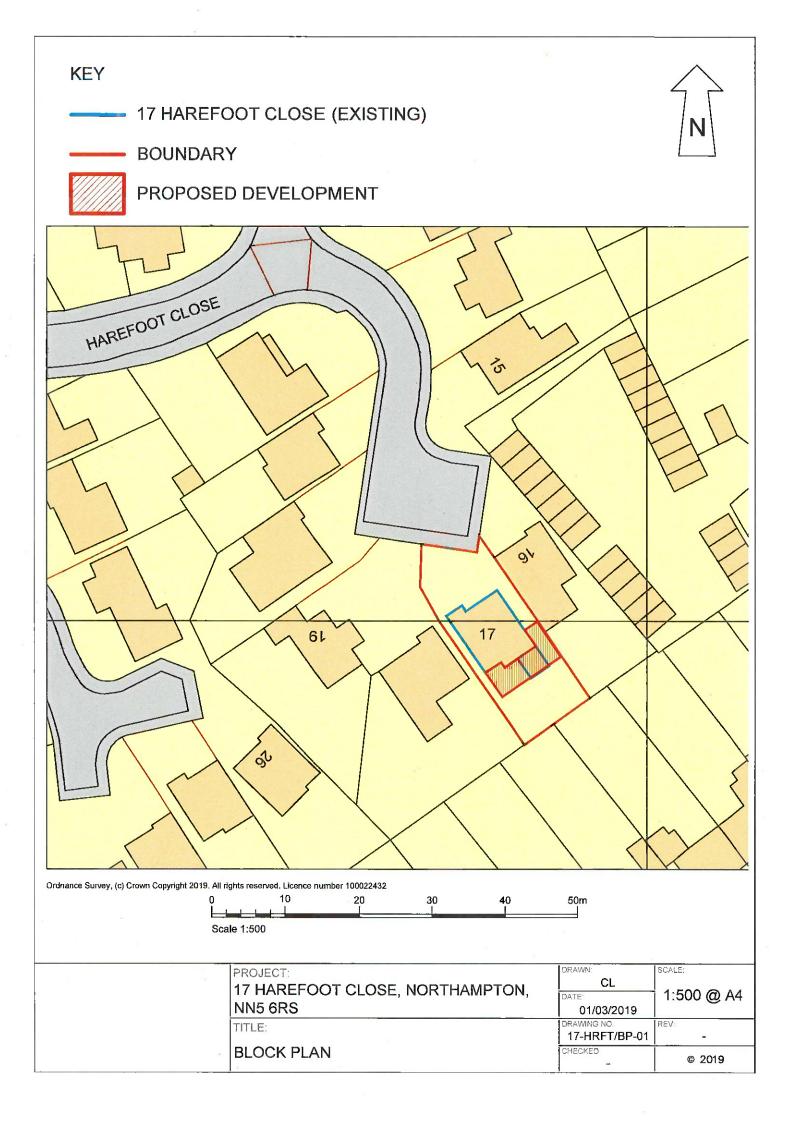
Roof Description of proposed malerials and finishes: Sheary duty gry waterproof flat coding system over insulated warm roof deck construction, below trick parages up stand finished with light grey once weathered coping stores to perfineter. Other type of materials (a.g. guithring) Rainwastergoods Description of existing materials and finishes: Bown PVC Description of existing materials and finishes: Bown PVC to match existing. Bown PVC to match existing. Description of proposed materials and finishes: Bown PVC to match existing. Bown PVC to match existing materials are finishes (optional): Description of proposed materials and finishes: No alterations to oxisting proposed. Are you supplying additional information on submitted plans, drawlegs or a design and access statement? Yes No PVes No Pedestrian and Vehicle Access, Roads and Riights of Way Is a new or aftered vehicular access proposed to or from the public highway? Yes No PVes No PVes No PVes No No PVes No No PVE No No No PVE No No PVE No No No No No No No No No No No No No No N	7. Materials		in the state of th	an - I
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Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 Yes and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.) If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.	required, this and the accompanying plan should be submitted all website what the survey should contain, in accordance with the contains and the contains are successful.	longside vour application. Your local Diannin	io alithority snould make clear	rvey is on its
Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 Yes No and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.) If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.	11. Assessment of Flood Risk			\$2.
If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.	Is the site within an area at risk of flooding? (Refer to the Environment and consult Environment Agency standing advice and your local plan	nt Agency's Flood Map showing flood zones 2 an nning authority requirements for information as	nd 3	
		ider the risk to the proposed site.		
			⊚ Yes	

11. Assessment of Flood Risk	* * §	
Will the proposal increase the flood risk elsewhere?		⊋Yes ⊚ No
How will surface water be disposed of?		
Sustainable drainage system		
☐Existing water course		
Soakaway		
✓ Main sewer		
□Pond/lake		
12. Biodiversity and Geological Conservation Is there a reasonable likelihood of the following being affected adversely or cor near the application site?	onserved and enhanced within	n the application site, or on land adjacent to
To assist in answering this question correctly, please refer to the help text wigeological conservation features may be present or nearby; and whether they	nich provides guidance on det y are likely to be affected by th	ermining if any important biodiversity or e proposals.
 a) Protected and priority species: Yes, on the development site Yes, on land adjacent to or near the proposed development No 		
 b) Designated sites, important habitats or other biodiversity features: Yes, on the development site Yes, on land adjacent to or near the proposed development No 		
c) Features of geological conservation importance: Yes, on the development site Yes, on land adjacent to or near the proposed development No		
13. Foul Sewage	8	v ·
Please state how foul sewage is to be disposed of: Mains Sewer Septic Tank Package Treatment plant Cess Pit Other		
Are you proposing to connect to the existing drainage system?		OV ON- OUI-
7 to you proposing to contract to the existing drainage system;		
14. Waste Storage and Collection		
Do the plans incorporate areas to store and aid the collection of waste?		⊋Yes ® No
Have arrangements been made for the separate storage and collection of recyclab	ile waste?	⊋ Yes ● No
15. Trade Effluent		
Does the proposal involve the need to dispose of trade effluents or trade waste?		Yes No

16. Residential/Dwe	elling Units		1 189
Due to changes in the it	nformation requirements for this question that are not currently available on the system its for your application please follow these steps:	, if you nee	d to supply details of
1. Answer 'No' to the qu 2. Download and compl 3. Upload it as a suppor	estion below; ete this supplementary information template (PDF); ting document on this application, using the 'Supplementary information template' doc	ument type	
	al authority with the required information to validate and determine your application.		
Does your proposal inclu	de the gain, loss or change of use of residential units?	© Yes	® No
17. All Types of De	velopment: Non-Residential Floorspace		80
Does your proposal invol	ve the loss, gain or change of use of non-residential floorspace?	© Yes	No No
18. Employment		- A	
Will the proposed develo	pment require the employment of any staff?	© Yes	<u> </u>
19. Hours of Openi	ng	e	
Are Hours of Opening re	levant to this proposal?	⊚ Yes	⊚ No
Please describe the activ	ommercial Processes and Machinery vities and processes which would be carried out on the site and the end products including pla inery which may be installed on site:	ınt, ventilatic	on or air conditioning. Please
Is the proposal for a was	ste management development?	⊚ Yes	⊚ No
If this is a landfill applic should make it clear wh	cation you will need to provide further information before your application can be deternat information it requires on its website	mined. You	ur waste planning authority
21. Hazardous Sub	estances		8
Does the proposal involve	ve the use or storage of any hazardous substances?	© Yes	⊚ No
22. Site Visit			
Can the site be seen fro	m a public road, public footpath, bridleway or other public land?	Yes	○ No
If the planning authority The agent The applicant Other person	needs to make an appointment to carry out a site visit, whom should they contact? (Please se	elect only on	e)
23. Pre-application			E 0 K
	advice been sought from the local authority about this application? the following information about the advice you were given (this will help the authority		○ No this application more
efficiently):	s the following illiourisation about the advice you were diven fines will test the additionly	.v wom will	. The opposition more
Officer name:			
Title	Mr		
First name	Satu		

< 100	
23. Pre-applicatio	n Advice
Surname	Pardivalla
Reference	PA/2019/0006
Date (Must be pre-appl	fication submission)
28/02/2019	
Details of the pre-applic	cation advice received
Further to my site inspe	ection at 2pm on Monday 25 February 2019 I write in reference to your pre application query regarding the above.
You seek advice on the along its eastern bound	e planning merits of a flat roofed rear extension with a depth of about 4m and which runs across the width of the property, and partly dary. The height will be just over 3m and it will have a lantern light along the rear, and a domed roof light to the side.
The property is screene	ed by a timber fence on its rear boundaries, with tall conifers along the rear (southern) boundary.
western elevation of thi	ling to the east (No16) is sited to the front of No 17 and has a rear conservatory which is in line with the rear elevation of No 17, the is conservatory (facing No 17) is obscure glazed. The neighbouring dwelling to the west (No 18) is sited in line with No 17, and has a ly from No 17 along its western boundary.
There are no visual imp front of the property wh	pact implications when viewed from Harefoot Close as the proposal will not be publically visible except from a narrow aspect directly in the not screened by existing planting.
Given that the depth of exceedance in depth, a be adversely affected.	the proposal will not greatly exceed that of the existing conservatory, that permission is only triggered by the wrap round and minor and the presence of boundary fencing I am also of the view that the living conditions of the occupiers of neighbouring dwellings would not
For the above reasons,	l consider that an application should receive a favourable recommendation to approve subject to conditions.
I trust that the above co the Council as local pla	omments are of assistance. Please note, however, that they represent the views of an officer only and cannot prejudice any decision of unning authority.
Yours faithfully	
Satu Pardivalla Planning Officer Planning Service	
Transmitted to the control of the co	
24. Authority Emp With respect to the Au (a) a member of staff (b) an elected member (c) related to a member (d) related to an elected	rthority, is the applicant and/or agent one of the following: or of staff
It is an important princi	ple of decision-making that the process is open and transparent. ○Yes ● No
For the purposes of this informed observer, hav the Local Planning Aut	s question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and ifno considered the facts, would conclude that there was bias on the part of the decision-maker in
Do any of the above sta	
-	rtificates and Agricultural Land Declaration NERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate
I certify/The applicant	certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any Iding to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural
* 'owner' is a person w	vith a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by tion of 'agricultural tenant' in section 65(8) of the Act.
NOTE: You should sig land is, or is part of, a	In Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the n agricultural holding.
Person role	
The applicant The agent	
Title	Mr
First name	Chris
Surname	Lane

Declaration date (DD/MM/YYYY)	04/03/2019								
✓ Declaration made									
				-	a			39	2 50
26. Declaration									
I/we hereby apply for pathat, to the best of my	olanning permission/consent as our knowledge, any facts state	s described in this fo ed are true and accu	orm and the ac rate and any o	companying pinions give	g plans/drav en are the g	vings and add enuine opinio	itional inform ns of the pers	ation. I/we conf son(s) giving the	irm em. 🗹
Date (cannot be pre- application)	01/03/2019			Ye is	- H- 1	902			
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This form should be saved to your device and then completed using the free Adobe Acrobat Reader application or full version of Adobe Acrobat. Many internet browsers and other applications can display PDF files, but we cannot guarantee their compatibility in regard to these forms. We specifically advise users of Apple devices not to use 'Preview' because of known issues.

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See Planning Practice Guidance for CIL for guidance on CIL generally, including exemption or relief..

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

1. Application Details			- 2	
Applicant or Agent Name:				
Lee & Laura Burtles				2 ⁹⁻⁴ CB
Planning Portal Reference (if applicable):			45 16	
Local authority planning application number	(if allocated):			
Site Address:	* * * *		y , a	2
17 Harefoot Close, Northampton, NN5 6RS				
Description of development: Rear and side extension to existing detached	dwalling house			
near and side extension to existing detached	aweiing nouse.			
70 m				
9	:	s .	8	
Does the application relate to minor material of	changes to an existing planning permis	ssion (is it a Sec	tion 73 application)?	
Yes Please enter the application n	number:	9		*
No 🔀 If yes, please go to Question 3 . If no, please co	ontinue to Question 2 .		A	

2. Liability for CIL
Does your development include:
a) New build floorspace (including extensions and replacement) of 100 sq ms or above?
Yes No X
b) Proposals for one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?
Yes No X
c) None of the above
Yes X No
If you answered yes to either a), or b) please go to Question 4. If you answered yes to c), please go to 8. Declaration at the end of the form.
3. Applications for Minor Material Changes to an Existing Planning Permission
a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?
Yes No No No
b) Does this application involve a change in the amount of floorspace where one or more new dwellings (including residential annexes) are proposed, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?
Yes No No
If you answered yes to either a), or b) please go to Question 4. If you answered no to both a) and b), please go to 8. Declaration at the end of the form.
4. Exemption or Relief
a) is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?
Yes No
b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?
Yes No No
Yes No No If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 -'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the
Yes No Solution No Solution No No Solution Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil c) Do you wish to claim a self build exemption for a whole new home?
Yes No No If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 -'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil c) Do you wish to claim a self build exemption for a whole new home?
Yes No Submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil c) Do you wish to claim a self build exemption for a whole new home? Yes No Submitted a CIL Form 7- 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.co.uk/cil . Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your
If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 -'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil c) Do you wish to claim a self build exemption for a whole new home? Yes No Please also complete a CIL Form 7- 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.co.uk/cil . Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

5. Reserved Matters Applications Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area? Yes Please enter the application number: No If you answered yes, please go to 8. Declaration at the end of the form.								
If you answered no, please	continue to complete the fo	rm.						
6. Proposed New Floorspace a) Does your application involve new residential floorspace (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)? N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.								
Yes No								
If yes, please complete the to dwellings, extensions, conv	table in section 6c) below, pr ersions, garages or any othe	roviding the requested inforr or buildings ancillary to reside	mation, including the floorspa	ace relating to new				
_	volve new non-residential i	•						
Yes 🗌 No 🗌								
If yes, please complete the t	table in section 6c) below, us	sing the information provide	d for Question 18 on your pla	nning application form.				
c) Proposed floorspace:								
Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv)Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)				
Market Housing (if known)		9		2				
Social Housing, including shared ownership housing (if known)								
Total residential floorspace	*							
Total non-residential floorspace		2						
Total floorspace								
7. Existing Buildings								
	ings on the site will be retair	ned, demolished or partially o	demolished as part of the dev	relopment proposed?				
Number of buildings:			9					
b) Please state for each exis that is to be retained and/o months within the past thir the purposes of inspecting	r demolished and whether a ty six months. Any existing I	ll or part of each building ha buildings into which people hinery, or which were grante	ained or demolished, the gro s been in use for a continuou do not usually go or only go i d temporary planning permi	s period of at least six nto intermittently for				

/. E	xisting Buildings contin	uea		_	17	5517	and amount of the s	100	SECTION AND ADDRESS OF
	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.		d use of retained corspace.	Gross internal area (sq ms) to be demolished.	of the build for its law continuo the 36 pre (excludin	uilding or part ding occupied wful use for 6 us months of evious months ing temporary hissions)?	last o lawful u the dat	was the building ccupied for its use? Pleaseenter e (dd/mm/yyyy) ck still in use.
1						Yes 🗌	No 🗌	Date: or Still in u	use:
2	er en en en en en en en en		e i the grade			Yes 🗌	No 🗌	Date: or Still in u	ıse:
3						Yes 🗌	No 🗌	Date: or Still in u	ıse:
4			5 (p 4)			Yes 🗌	No 🗌	Date: or Still in u	use:
	Total floorspace			-	. 6				
or o	oes your proposal include the only go into intermittently for mission for a temporary period description of existing description) to be retain	r the purposed? If yes, plants building (as plants)	ease complement	ecting or maintair ete the following t Gross internal area (sq ms) to	ning plant or able:	machiner	into which p	ere gra	Gross internal area (sq ms) to
_	description, to be retain.			be retained					be demolished
1	* * * * * * * * * * * * * * * * * * *			100 _ 10 20		1	100	90	
2		-			8		* * *		e s
3					-	= = \			
4							8 8		
n	otal floorspace into which peop only go intermittently to inspec nachinery, or which was grante permission	ct or maintal ed temporary n	n plant or planning		5				
buil	your development involves th ding? Yes \(\text{No} \text{No} \(\text{C}						,	r within	the existing
e) If	Yes, how much of the gross in	ternal floors	oace propo	sed will be created	by the mezza	nine floor	(sq ms)?	Ma	anine floorspace
			Us	e				iviezz	(sq ms)
		<i>8</i>	· ====================================	<i>a</i>			W.		VI.
		s_ s	ÁT						

8. Declaration	
I/we confirm that the details given are correct.	
Name:	
Chris Lane	
Date (DD/MM/YYYY). Date cannot be pre-application:	
01/03/2019	
It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a ma or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (20 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imp	010) as amended (regulation
For local authority use only	
App. No:	

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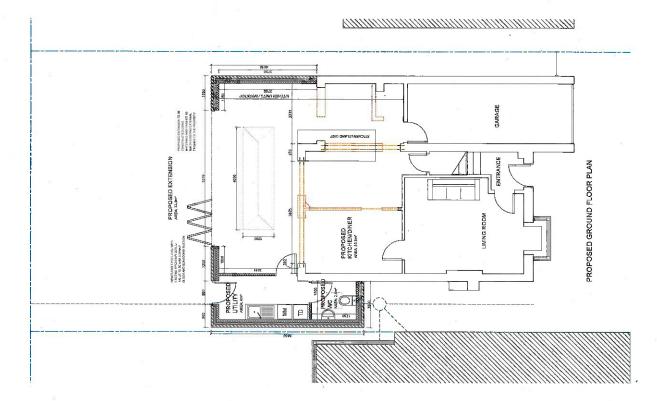
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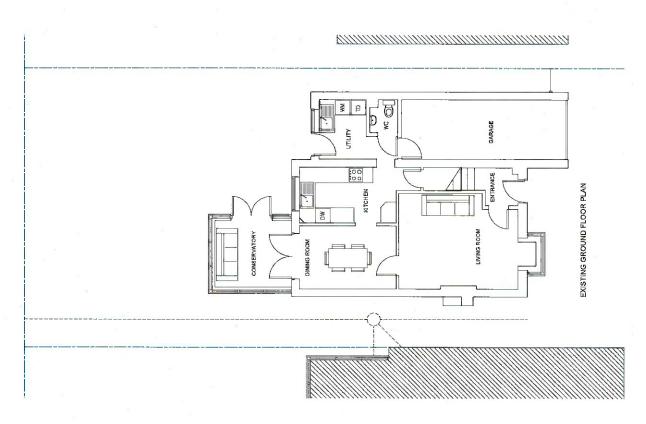
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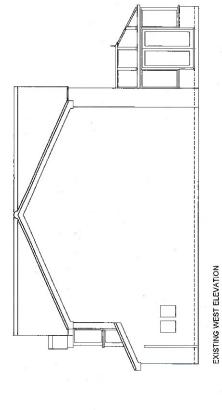


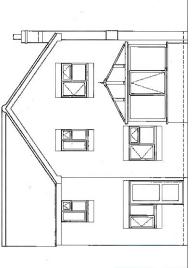


Note: Contractor must verify all dimensions and levels on site and report any discrepancies to the designer prior to commencing works or preparing site drawings.

Note: Co









EXISTING EAST ELEVATION

DATE. 01/03/2019

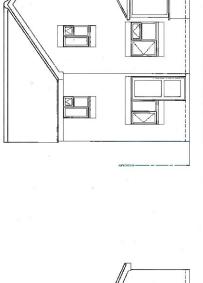
DRAWING NO 17-HRFTJF02

DRAWN CL SCALE 150 @ A1

17 HAREFOOT CLOSE, NORTHAMPTON, NN5 6RS

EXISTING ELEVATIONS

PLANNING



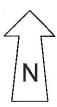
EXISTING FRONT ELEVATION

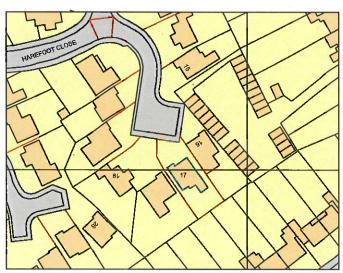
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KEY

17 HAREFOOT CLOSE

BOUNDARY



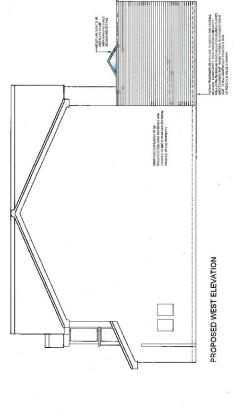


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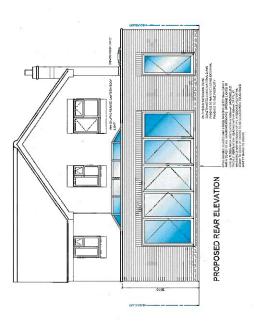


PROJECT:	ORAWN:	SCALE:
17 HAREFOOT CLOSE, NORTHAMPTON, NN5 6RS	01/03/2019	1:1250 @ A4
TITLE;	DRAWING NO. 17-HRFT/LP-01	REV:
LOCATION PLAN	CHECKED -	© 2019





PROPOSED FRONT ELEVATION



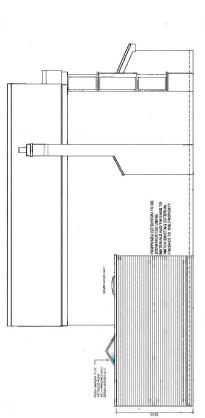
17 HAREFOOT CLOSE, NORTHAMPTON, NNS 6RS

PLANNING

PROPOSED ELEVATIONS

ERAVANG NO 17-HRFT/F03

DRAWN CL SCALE 130 @ AT



PROPOSED EAST ELEVATION

ote: Contractor must verify all dimensions and levels on site and n	s to the designer prior to commencing works or prepara
Note: Contrac	discrepancies
8-	I



N/2018/1404

Car Park Adj To, Duston Community Centre Pendle Road, Northampton,

Installation of hydraulic car park barrier with associated access control post and bollards to serve existing car park

notest of heavistant

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640 Hydraulic barrier system for beams up to 7m

of High and evises) DAAT, gritbrid for ere emiticand messiq eith in benismad znahabulli bne sneltgrassb ad 1900/100 - inidaar S - 000 E - 01 vsA - £003/1400

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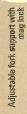
THE 640 AUTOMÁTIC BARRIER SUITABLE FOR BEAMS UP TO 7M.

- The 640 has a duty eycle of 100% and will support a 7m beam and bottom slut with an opening/closing speed of 4 to 8 seconds.
 - The barrier has patented electronic deceleration.
 The 624 BLD control board has a built in dual loop detector.

 - Also available in stainless steel.
 Top and bottom skirt available up to 5m.

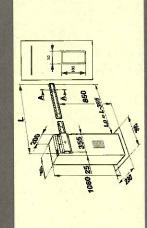


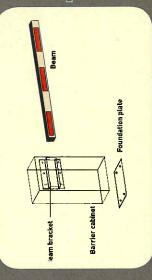
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Adjustable pogo sfick





1,400 rpm - 2,800 rp 0.75 - 1 - 1.5 - 2 l/mi

FORCED BIR	rectangular - rectangular with skirt, rec gular with top and bottom skirt	
	of rectangular beam	



Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CiL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See Planning Practice Guidance for CIL for guidance on CIL generally, including exemption or relief..

Application Details			
pplicant or Agent Name:	4		
KOUY NIEMOUS			
lanning Portal Reference f applicable):		Local authority planning (if allocated):	application number
ite Address:			y 2
PENOLE LOAD			
PENOLE LOAD MOPPING HILL NN5 65T.			
NN5 65T.			
			2
Description of development:			
			H
oes the application relate to minor material changes to	an existing planning pe	rmission (is it a Section 73 a	application)?
Yes Please enter the application number:			5
Figure circi die application numer.			

2. Liability for CIL
Does your development include:
a) New build floorspace (including extensions and replacement) of 100 sq ms or above?
Yes No
b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?
Yes No No
c) None of the above
Yes No 🗌
If you answered yes to either a), or b) please go to Question 4. If you answered yes to c), please go to 8. Declaration at the end of the form.
3. Applications for Minor Material Changes to an Existing Planning Permission
a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?
Yes No No
 b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?
Yes No No
if you answered yes to either a), or b) please go to Question 4.
If you answered no to both a) and b), please go to 8. Declaration at the end of the form.
4. Exemption or Relief
a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?
Yes No
b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?
Yes No I If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 -'Claiming Exemption or Relief', and
If you answered yes to a) or b), please note that you will need to complete and have agreed city of the Charging/Collecting Authority, which the Authority must receive prior to the submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.gov.uk/cil
c) Do you wish to claim a self build exemption for a whole new home?
Yes No No
If you have answered yes to c) please also complete a CIL Form 7- 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.gov.uk/cil. Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.
d) Do you wish to claim a self build exemption for a residential annex or extension?
Yes
If you have answered yes to d) please also complete either CIL Form 8 -'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 -'Self Build Extension Exemption Claim Form' available from www.planningportal.gov.uk/cil. Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development, in order to benefit from relief from the levy
5. Reserved Matters Applications
Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area? Yes Please enter the application number:
No 🗆
If you answered yes, please go to 8. Declaration at the end of the form. If you answered no, please continue to complete the form.

basements or a	plication inv ny other bui of a single c	volve ned Ildings a Iwelling	w residenti ncillary to re house into	sidentia two or n	space (including i al use)? nore separate dw o' to Question 2b	ellings (with	out ex	tending th	em) is NOT li	able for CIL.	
Yes 🗍	lo 🔲										
if yes, please co dwellings, exter	mplete the t	table in : ersions,	section 6c) b garages or a	elow, po	roviding the requer buildings ancilla	ested informary to reside	nation, ential u	including se.	the floorspac	e relating to	o new
b) Does your ap											
Yes 🗌 💮	4o 📋										
If yes, please co	mplete the 1	table in :	section 6c) b	elow, u	sing the informat	ion provide	d for Q	uestion 18	on your plan	ning applica	ation form.
c) Proposed floo	orspace:										
Development t	ype		ing gross int ace (square		(ii) Gross interna to be lost by cha or demolition (so metres)	nge of use	floors; (includated) basem	tal gross in pace propo ling chang lents, and a ngs) (squar	sed i e of use, f ancillary (iv)Net addit nternal floo iollowing de square met Iv) = (iii) - (li	rspace evelopment res)
Market Housing	(if known)		0		2						
Social Housing, shared ownersi (if known)		8	a m	27		85		n.			
Total residentia	l floorspace						:			70	
Total non-resid floorspace	ential		24 26				IT.				
Total floorspace	e			61 649 6							
7 Frainting D	مرد دار الم			· · · · · · · ·							
7. Existing E a) How many e		lings on	the site will	be retai	ned, demolished	or partially	demoli	shed as pa	rt of the deve	elopment pr	oposed?
Number of bui											
b) Please state that is to be ret months within	for each existanced and/o the past this finspecting	or demol rty six m or main	ished and w onths. Any taining plar	hether a existing at or mad	sting building tha all or part of each buildings into wl chinery, or which uestion 7c).	building ha nich people	as been do not	in use for a usually go	a continuous or only go ir	period of at ito intermitt	t least six tently for
building building	cription of exigypart of exist to be retain emolished.	sting	Gross internal area (sq ms) to be retained.	Prop	osed use of retair floorspace.	ed interr	ross nal area ms) to be olished.	of the build for its law continuou the 36 prev (excluding	ilding or part ling occupied ful use for 6 is months of vious months g temporary issions)?	last occu lawful use? the date (d	the building pied for its Pleaseenter Id/mm/yyyy) till in use.
1								Yes 🗌	No 🗌	Date; or Still in use:	
2								Yes 🗌	No 🗌	Date: or Still in use:	
3				9		ex	D	Yes 🗌	No 🗌	Date: or Still In use:	
4							Tr.	Yes 🗌	No 🗌	Date: or	
1						ĺ	1		,	Still in use:	

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained flo	orspace	Gross Internal area (sq ms) to be demolished
				ti N	
				-	9
					и
		8		1	S S
	tal floorspace into which people do not normally go, nly go intermittently to inspect or maintain plant or achinery, or which was granted temporary planning permission				
	f your development involves the conversion of an exi				
	Iding? Is No Service of the gross internal floorspace prop			ıs)?	
i	lding? us No 🗍	oosed will be creat		ıs)?	nin the existing nine floorspace (sq ms)
	Iding? Is No No Service Properties No	oosed will be creat		ıs)?	nine floorspace
	Iding? Is No No Service Properties No	oosed will be creat		ıs)?	nine floorspace

8. Declaration	8 -
l/we confirm that the details given are correct.	
Name:	
K.NICHOUS	
Date (DD/MM/YYYY). Date cannot be pre-application:	
4110/18.	
It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a ror charging authority in response to a requirement under the Community Infrastructure Levy Regulations (110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years in	(2010) as amended (regulation
For local authority use only	
App. No:	

mant - street

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Authorities against the property

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	PLANNING CONSULTATION LIST
Application Reference	N/2018/1404
Location	Car Park Adj To Duston Community Centre , Pendle Road, Northampton
Proposal	Installation of hydraulic car park barrier with associated access control post and bollards to serve existing car park

Name	Туре	Sent Date	Expiry Date
Duston Parish Council	Consultation	11/03/2019	01/04/2019
Cllr Tim Hadland	Consultation	11/03/2019	01/04/2019
Cllr Suresh Patel	Consultation	11/03/2019	01/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	11/03/2019	11/03/2019 01/04/2019
NBC Estates & Valuation	Consultation	11/03/2019 01/04/2019	01/04/2019
NCC Highways & Access	Consultation	11/03/2019 01/04/2019	01/04/2019

Overall Consults Expiry Date: 1 April 2019

Overall Re-Consults Expiry Date:

NEIGHBOURS				
Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
20 Witton Road	88			
Northampton	11/03/2019	11/03/2019 01/04/2019		
NN5 6TS			8	
24 Pendle Road				
Northampton	11/03/2019	01/04/2019	25	7
NNS 6DT		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		
26 Pendle Road		63		
Northampton	11/03/2019	01/04/2019		
NNS 6DT			^	

32 Pendle Road				
Northampton	11/03/2019	11/03/2019 01/04/2019		
NN5 6DT			B	
34 Pendle Road	a a		z	
Northampton	11/03/2019	01/04/2019		
NN5 6DT		4	8	
40 Pendle Road	¥.	2.		
Northampton	11/03/2019	11/03/2019 01/04/2019		
NNS 6DT		20 20 20		
42 Pendle Road				
Northampton	11/03/2019	11/03/2019 01/04/2019		
NNS 6DT	1000		28 - 20	The Southfield of
Duston Community Centre				
Pendle Road	11/03/2019	01/04/2019		
Northampton	CT02/C0/TT			
NNS 6DT	α			

Overall Neighbour Expiry Date: 1 April 2019

Overall Neigh Re-consults Expiry Date:

Town and Country Planning (Development Management Procedure) (England) Order 2015 NOTICE UNDER ARTICLE 13 OF APPLICATION FOR PLANNING PERMISSION

(Notice 1: This notice is to be printed and served on individuals if Certificate B or C is completed)

Control of the contro	
Proposed development	at:
Name or flat number	
Property number or name	PENDLE LOAD
Street	
Locality	HOTPING MIN
Town	NORTHANTON
County	
Postal town	
Postcode	NNS 60T
Take notice that applica	ition is being made by:
Organisation name	WORTHAMPTON LARINERSHIP HOMES
Applicant name Title	MISS Forename KEMY
Surname	Nichows
For planning permission	i to:
Description of proposed developm	nent
TO EXISTING CAR PUBLIC FROM USE	PARK. TO PREVENT GENERAL NY 17.
Local Planning Authority to whon the application is being submitted	
Local Planning Authority address	GULLOMAN, ST FILES SQUALE
	WORTHAMSTON NNIISE
	who wishes to make representations about this application, 121 days of the date of this notice.
Signatory:	
Signatory Title	MIS Forename UFWY
Surname	Neugas
Signature	
Date (dd-mm-yyyy)	4/10/18.
Statement of owners' rights: The to retain or dispose of their propagreement or lease.	grant of planning permission does not affect owners' rights erty, unless there is some provision to the contrary in an
	s' rights: The grant of planning permission for non- fect agricultural tenants' security of tenure.
term of which is not less than se	a freehold interest or a leasehold interest the unexpired ven years. pricultural holding any part of which is comprised in the land.

Once completed this form needs to be served on the owner(s) or tenant(s)

Print Form

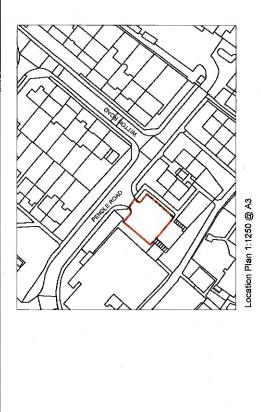
Toren and Couldby (familie) (Davidenment Management)
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13 of April boayston Fourier and Italian Fraceston

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NOTES: DO NOT SCALE THIS DRAWING. ALL DIMENSIONS TO BE CHECKED PRIOR TO CONSTRUCTION.

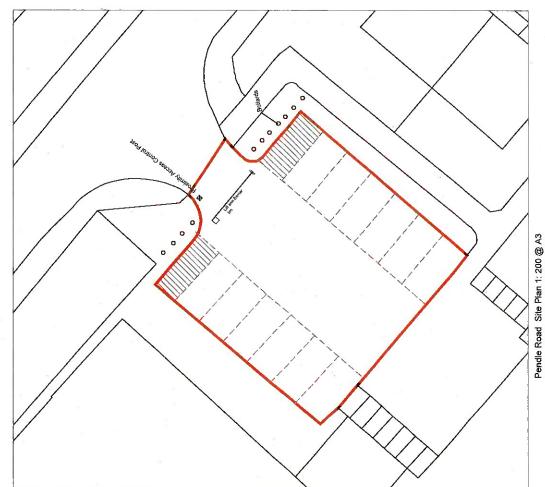
STANDER OF THE PROPERTY OF THE

Northampton Partnership Homes The Guildhall, St Giles Square, Northampton.

O1604 838413 | 0300 330 7003 www.northamptonpartnershiphomes.org.uk

Pendle Road Proposed Car Parking Barrier Project Name and Address

Project car barriers	Sheet
Date Sep (8	
Scale as noted	



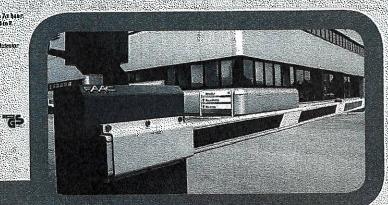




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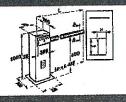
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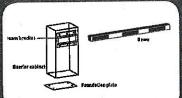
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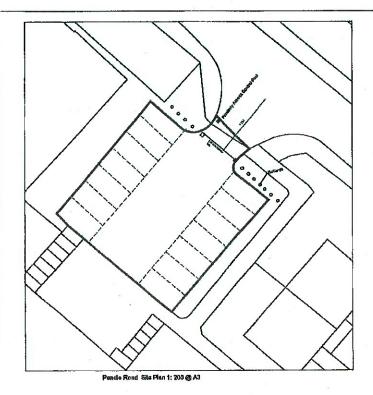


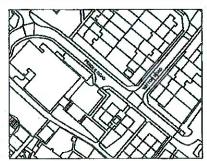




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Electronic deceleration	Apparable upthearts
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Location Plan 1:1250 @ A3

PLANNING

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Northumpton Partnership Homes The Guildhell, 81 Giles Square, Northempton, 3811 105

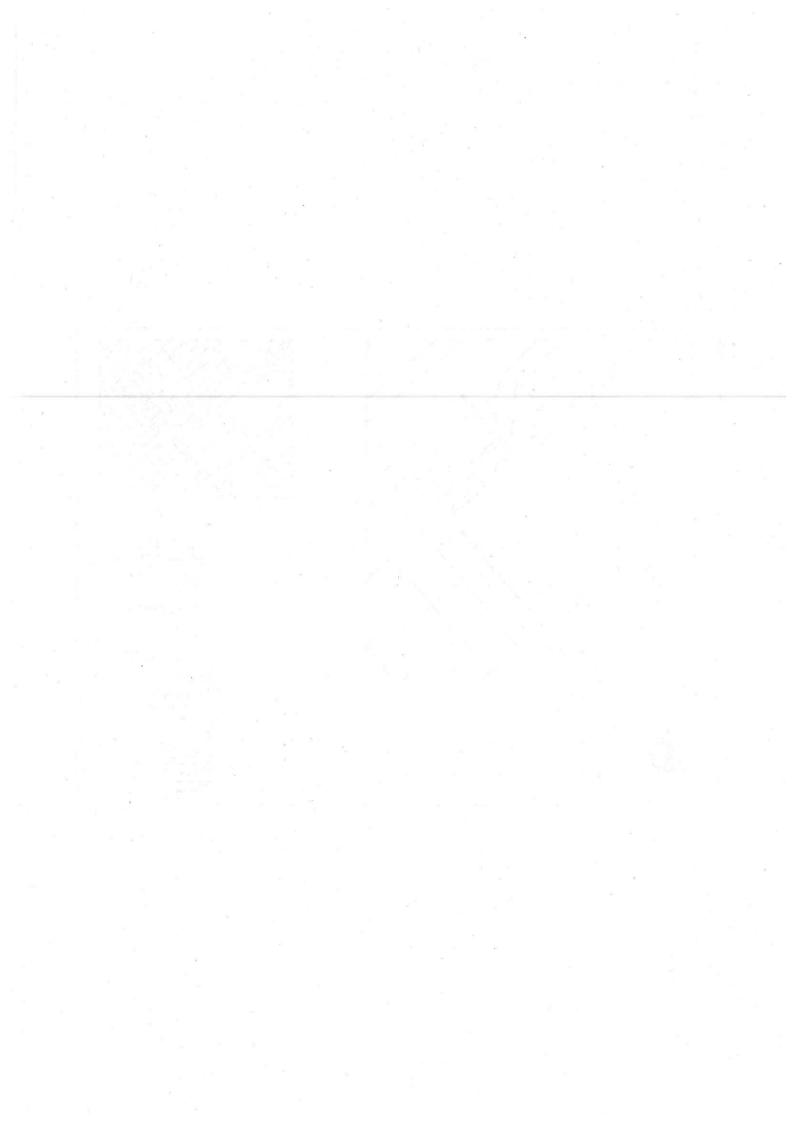
(% 01604 838413 | 0300 330 7003 www.northamptonpartnershiph.onss.org.t/k

what form and Address

Pendle Road Proposed Car Parking Barrier

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N/2019/0324

Garage 1 Lock Up Garages , Pendle Road, Northampton

Demolition of 16no domestic lock up garages and erection of 3no dwellings and provision of parking area



Development Control

1st Floor, The Guildhall St. Giles Square Northampton, NN1 1DE

Tel: 0300 330 7000 / email: planning@northampton.gov.uk

Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address		
Number		e (50)
Suffix		
Property name	Lock up garages and land adjacent to 22 Darwin Walk	
Address line 1	Pendie Road	
Address line 2	3	e e e e e e e e e e e e e e e e e e e
Address line 3		
Town/city	Northampton	
Postcode	NN5 6LR	
Description of site local	tion must be completed if postcode is not known:	· · · · · · · · · · · · · · · · · · ·
Easting (x)	472225	,
Northing (y)	262032	e e
Description	у — —	
2. Applicant Deta	ils	
Title		
First name		(A)
Surname	Northampton Partnership Homes	
Company name	c/o Baily Garner LLP	
Address line 1	c/o Baily Garner LLP	g X = W = -
Address line 2		
Address line 3		80 S
Town/city		

2. Applicant Detai	ls		3 3	8	
Postcode					4. 1
Primary number	a 1 a		* == == == == == == == == == == == == ==		
Secondary number			· · · · · · · · · · · · · · · · · · ·		
Fax number		- :			8
Email address		50			8
Are you an agent acting	on behalf of the applica	nt?		⊚ Yes □ No	#
			8 - 8 · ·		
3. Agent Details	3-	8 8 9			T 48
Title	Miss	100			a a
First name	Isobel				
Surname	Barrett				e 1
Company name	Baily Garner LLP				A Region of the second
Address line 1	55 Charlotte Street		2 × 2	0 -	×
Address line 2					-
Address line 3	and the second s	e			#II [5]
Town/city	Birmingham				1
Country	9/2				
Postcode	B3 1PX				2,000
Primary number	01212362236				
Secondary number					
Fax number		,			
Email	isobel.barrett@bailygarr	ner.co.uk		,	
4. Site Area					
What is the measurem (numeric characters or	ent of the site area?	1116			
Unit	sq.metres			G97	W
<u> </u>	<u> </u>				2.7
5. Description of		ment arrester to 1. "	anne of use		
If you are applying for		pment or works including any chartent on a site that has been grante	nange of use. ed Permission In Principle, please include	the relevant details	in the description
below.	ar	16 domestic lock up garages.			
	e of use already started?			⊚ Yes	
					e x

6. Existing Use	
Please describe the current use of the site	
Lock up domestic garages.	2
Is the site currently vacant?	⊚ Yes ● No
Does the proposal involve any of the following? If Yes, you will need to sub	mit an appropriate contamination assessment with your application.
Land which is known to be contaminated	
Land where contamination is suspected for all or part of the site	© Yes ⊚ No
A proposed use that would be particularly vulnerable to the presence of contamin	nation
7. Materials	
Does the proposed development require any materials to be used in the build?	⊚ Yes
Please provide a description of existing and proposed materials and finishe material):	es to be used in the build (including type, colour and name for each
material).	
Walls	
Description of existing materials and finishes (optional):	Brick
Description of proposed materials and finishes:	Brick to match existing
¥ ,	
Roof	9 92
Description of existing materials and finishes (optional):	Corrugated metal
Description of proposed materials and finishes:	Pitched tiled roof to match existing neighboring properties
Windows	
Description of existing materials and finishes (optional):	N/A
Description of proposed materials and finishes:	White uPVC windows
e	
Doors	
Description of existing materials and finishes (optional):	Metal garage doors
Description of proposed materials and finishes:	White uPVC doors
Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	Timber fencing
Description of proposed materials and finishes:	1.8m high timber close-boarded fencing
Vehicle access and hard standing	
Description of existing materials and finishes (optional):	Concrete
Description of proposed materials and finishes:	Asphalt, permeable paving
<u> </u>	

Are you supplying additional information on submitted plans, draw	atement?	Yes	⊚ No		
If Yes, please state references for the plans, drawings and/or des	sign and access statement				
Please refer to drawings:		6			a s ^{re}
(P) 01 Site and Location Plan (P) 02 Existing Site Plan (P) 03 Proposed Site Plan (P) 04 Proposed Floor Plans (P) 05 Proposed Elevations (P) 06 Proposed Street Elevations Design and Access Statement					
				8	
8. Pedestrian and Vehicle Access, Roads and Rig	ghts of Way	-	100		
Is a new or altered vehicular access proposed to or from the pub	lic highway?		⊚ Yes	⊚ No	
Is a new or altered pedestrian access proposed to or from the pu	blic highway?		Yes	© No	
Are there any new public roads to be provided within the site?			© Yes	No No No	e .
Are there any new public rights of way to be provided within or ac	djacent to the site?		Yes	⊚ No	
Do the proposals require any diversions/extinguishments and/or	creation of rights of way?		Yes	No No	
If you answered Yes to any of the above questions, please show	details on your plans/drawings	and state their reference r	numbers	3	
Drawings: (P) 02 - Existing Site Plan Design and Access Statement	el e	-	- Si - Di		e ₈
Design and Access Oldrenien			_		
9. Vehicle Parking					
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number	of on-site parking spaces		Yes	⊚ No	
Is vehicle parking relevant to this proposal?	of on-site parking spaces Existing number of spaces	Total proposed (includir spaces retained)		○ No Difference in s	paces
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number				Difference in s	paces
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number Type of vehicle	Existing number of spaces	spaces retained)		Difference in s	
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number Type of vehicle	Existing number of spaces	spaces retained)		Difference in s	
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number Type of vehicle	Existing number of spaces	spaces retained)		Difference in s	
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number Type of vehicle Cars	Existing number of spaces	spaces retained)		Difference in s	
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number Type of vehicle Cars 10. Trees and Hedges	Existing number of spaces 0	spaces retained) 16	ng	Difference in s	
Is vehicle parking relevant to this proposal? Please provide information on the existing and proposed number Type of vehicle Cars 10. Trees and Hedges Are there trees or hedges on the proposed development site? And/or: Are there trees or hedges on land adiacent to the proposed	Existing number of spaces 0 sed development site that could it character? e a full tree survey, at the discreted along side your application	nfluence the	Yes Yes Yes Aning authority	Difference in s No No No No	ee survey is
Please provide information on the existing and proposed number Type of vehicle Cars 10. Trees and Hedges Are there trees or hedges on the proposed development site? And/or: Are there trees or hedges on land adjacent to the proposed development or might be important as part of the local landscape if Yes to either or both of the above, you may need to provid required, this and the accompanying plan should be submitt website what the survey should contain, in accordance with	Existing number of spaces 0 sed development site that could it character? e a full tree survey, at the discreted along side your application	nfluence the	Yes Yes Yes Aning authority	Difference in s No No No No	ee survey is
Please provide information on the existing and proposed number Type of vehicle Cars 10. Trees and Hedges Are there trees or hedges on the proposed development site? And/or: Are there trees or hedges on land adjacent to the proposed development or might be important as part of the local landscape if Yes to either or both of the above, you may need to provid required, this and the accompanying plan should be submitt website what the survey should contain, in accordance with	Existing number of spaces 0 sed development site that could it character? e a full tree survey, at the discreted along side your application	nfluence the	Yes Yes Yes Aning authority	Difference in s No No No No	ee survey is
Please provide information on the existing and proposed number Type of vehicle Cars 10. Trees and Hedges Are there trees or hedges on the proposed development site? And/or: Are there trees or hedges on land adjacent to the proposed development or might be important as part of the local landscape if Yes to either or both of the above, you may need to provid required, this and the accompanying plan should be submitt website what the survey should contain, in accordance with Recommendations'.	eed development site that could be character? e a full tree survey, at the disc ted alongside your application the current 'BS5837: Trees in	nfluence the retion of your local plar. Your local planning aurelation to design, demo	● Yes ● Yes ening authority	Difference in s No No No athority. If a treshould make and construction	ee survey is
Please provide information on the existing and proposed number Type of vehicle Cars 10. Trees and Hedges Are there trees or hedges on the proposed development site? And/or: Are there trees or hedges on land adjacent to the proposed development or might be important as part of the local landscape if Yes to either or both of the above, you may need to provid required, this and the accompanying plan should be submitt website what the survey should contain, in accordance with Recommendations'. 11. Assessment of Flood Risk Is the site within an area at risk of flooding? (Refer to the Environ and consult Environment Agency standing advice and your local)	Existing number of spaces 0 sed development site that could it to character? e a full tree survey, at the discreted alongside your application the current 'BS5837: Trees in the curren	spaces retained) 16 Influence the retion of your local plan. Your local planning aurelation to design, demo-	● Yes ● Yes • Yes • Yes • Aning authority olition a	Difference in s No No No athority. If a treshould make and construction	ee survey is
Please provide information on the existing and proposed number Type of vehicle Cars 10. Trees and Hedges Are there trees or hedges on the proposed development site? And/or: Are there trees or hedges on land adjacent to the proposed development or might be important as part of the local landscape if Yes to either or both of the above, you may need to provid required, this and the accompanying plan should be submitt website what the survey should contain, in accordance with Recommendations'. 11. Assessment of Flood Risk Is the site within an area at risk of flooding? (Refer to the Environ and consult Environment Agency standing advice and your local necessary.)	Existing number of spaces 0 sed development site that could it e character? e a full tree survey, at the disc ted alongside your application the current 'BS5837: Trees in the current 'BS5837: Trees in planning authority requirements consider the risk to the propos	spaces retained) 16 Influence the retion of your local plan. Your local planning aurelation to design, demo-	Yes Yes Yes Aning authority Olition a	Difference in s No No No athority. If a treshould make and construction	ee survey is

7. Materials

11. Assessment of Flood Risk How will surface water be disposed of?
Sustainable drainage system
Existing water course
✓ Soakaway
✓ Main sewer
Pond/lake
42 Pindiversity and Coolegical Consequation
12. Biodiversity and Geological Conservation Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?
To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.
a) Protected and priority species: Yes, on the development site Yes, on land adjacent to or near the proposed development No
b) Designated sites, important habitats or other biodiversity features: Yes, on the development site Yes, on land adjacent to or near the proposed development No
c) Features of geological conservation importance: ② Yes, on the development site ② Yes, on land adjacent to or near the proposed development ③ No
13. Foul Sewage
Please state how foul sewage is to be disposed of: Mains Sewer Septic Tank Package Treatment plant Cess Pit Other Unknown
Are you proposing to connect to the existing drainage system?
If Yes, please include the details of the existing system on the application drawings. Please state the plan(s)/drawing(s) references.
Delete as necessary: Please see the Asset search map by Anglian Water for information on site drainage and services. Please see the Topographical Survey for locations of drainage and services across the site.
14. Waste Storage and Collection
Do the plans incorporate areas to store and aid the collection of waste?
If Yes, please provide details:
Please see drawing (P) 03 Proposed Site Plan for refuse bin locations.
Have arrangements been made for the separate storage and collection of recyclable waste?

4. Waste Storage and Collection	charles have the marketer, and the sale
If Yes, please provide details:	
Please see drawing (P) 03 Proposed Site Plan for refuse bin locations. One refuse bin to be allocated for recyclable	waste.
5. Trade Effluent	2 8 8
Does the proposal involve the need to dispose of trade effluents or trade waste?	C Van C No
Joes the proposal involve the need to dispose of trade efficients of trade waste?	© Yes
	7
6. Residential/Dwelling Units	
Due to changes in the information requirements for this question that are not currently available on the syst Residential/Dwelling Units for your application please follow these steps:	em, if you need to supply details of
. Answer 'No' to the question below; . Download and complete this supplementary information template (PDF);	- Paris Service Service in the Service
s. Upload it as a supporting document on this application, using the 'Supplementary information template' d	and you are the first the
This will provide the local authority with the required information to validate and determine your application	·
Does your proposal include the gain, loss or change of use of residential units?	⊚Yes ⊚ No
17. All Types of Development: Non-Residential Floorspace	
Does your proposal involve the loss, gain or change of use of non-residential floorspace?	☑Yes No
Soco your proposed in one all octors game a sample of the	2765 2115
18. Employment	
Will the proposed development require the employment of any staff?	○ Yes ● No
19. Hours of Opening	
Are Hours of Opening relevant to this proposal?	⊚Yes ⊚ No
20. In directain on Commercial Processes and Machinery	
20. Industrial or Commercial Processes and Machinery	plant ventilation or air conditioning. Please
Please describe the activities and processes which would be carried out on the site and the end products including include the type of machinery which may be installed on site:	plant, fortulation of all containing.
N/A	
Is the proposal for a waste management development?	⊚ Yes ● No
If this is a landfill application you will need to provide further information before your application can be def should make it clear what information it requires on its website	termined. Your waste planning authority
should make it clear what information it requires on its website	·
	× ,
21. Hazardous Substances	
Does the proposal involve the use or storage of any hazardous substances?	© Yes ● No
22. Site Visit	
Can the site be seen from a public road, public footpath, bridleway or other public land?	● Yes □ No
If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please	select only one)
The applicant The applicant	
Other person	27 - 10
	8

Officer name: Title First name Surname Cate (Must be pre-application submission) Details of the pre-application advice received C4. Authority Employee/Member With respect to the Authority, is the applicant and/or agent one of the following: a) a member of staff				
Type please complete the following information about the advice you were given (this will help the authority to deal with this application more information.) The complete in the property of	23. Pre-application	Advice		
Miles or name: File	Has assistance or prior a	dvice been sought from the local authority about thi	s application?	⊚ Yes
Surname Selection Surname Selection Surname Selection Se	If Yes, please complete tefficiently):	he following information about the advice you	were given (this will help the authority t	o deal with this application more
Surname Script name Script (Must be pre-application submission) Details of the pre-application submission) Details of the pre-application submission) A. Authority Employee/Member With respect to the Authority, is the applicant and/or agent one of the following: 1) a member of staff 3) a middle member of staff 3) related to member of staff 3) related to an elected member 15 an important principle of decision-making that the process is open and transparent. To the purposes of this question, "related to" means related, by bith or otherwise, closely enough that a fair-mixed and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in he Local Planning Authority. 2) any of the above stafements apply? 55. Ownership Certificates and Agricultural Land Declaration ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 14 ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 14 ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 14 ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 15 ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 15 ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 15 ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 15 ERTIFICATE OF OWNERSHIP - CERTIFICATE 8 - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certification related 15 EX	Officer name:			
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Prelated to a member of staff Prelated to an elected member	With respect to the Auth	ority, is the applicant and/or agent one of the fo	llowing:	
For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority. Do any of the above statements apply? 15. Ownership Certificates and Agricultural Land Declaration EERTIFICATE OF OWNERSHIP - CERTIFICATE B - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificat ander Article 14 Certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this applicant, was the owner' and/or agricultural tenant* of any part of the land or building to which this application relates. 'owner's a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant* has the meaning given in election 65(8) of the Town and Country Planning Act 1990 Nomer/Agricultural Tenant Name of Owner/Agricultural Northampton Borough Council Tenant Number Guildhall Address line 1 15 St Giles' Street Address line 2 Town/city Northampton Postcode NN1 1DE Date notice served 07/02/2019	(b) an elected member (c) related to a member of (d) related to an elected	of staff member		
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Address line 2 Town/city Northampton Postcode NN1 1DE Date notice served 07/02/2019	House Name	Guildhall	- 2	
Town/city Northampton Postcode NN1 1DE Date notice served 07/02/2019	Address line 1	15 St Giles' Street		
Postcode NN1 1DE Date notice served 07/02/2019	Address line 2	8	в «	a s
Date notice served 07/02/2019	Town/city	Northampton		
	Postcode	NN1 1DE		=
		07/02/2019		
		. <u> </u>		9

Name of Owner/Agricu Tenant	Itural Northamptonshire County	y Council			
Number	9			8	
Suffix	2 - 8 2	c		7 = 1 g	
House Name					10.0
Address line 1	One Angel Square				
Address line 2	Angel Street	2		8	
Town/city	Northampton	40	a a		
Postcode	NN1 1ED				
Date notice served (DD/MM/YYYY)	07/02/2019	3 3		15. 1	
eclaration date DD/MM/YYYY)	3arrett 07/02/2019				
Declaration made					
6. Declaration		AL	ompanying plans/drawings and	additional information, I/v	ve confirm
we hereby apply for pla	nning permission/consent as desc ir knowledge, any facts stated are	true and accurate and any op	inions given are the genuine op	pinions of the person(s) gi	ving them. 🗹
we hereby apply for pla nat, to the best of my/ou	nning permission/consent as desc ir knowledge, any facts stated are 07/02/2019	priped in this form and the acc true and accurate and any op	inions given are the genuine op	oinions of the person(s) gi	ving them. 🗹
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BICYCLE STORE / SHED



Timber shed as shown or similar approved

Timber bike store as shown or similar approved

TYPE SH1



TYPE RS1 Timber slat refuse store or similar approved

Bicycle/Shed & Refuse Stores

	Bicycle & Refuse Stores		CH HARVINS	REVISION
нір Нотеs	Bicycle &	Planning	u D GR	SCH-DITS
Northampton Partnership Homes	ADDRESSS		scaur nts	Johnson. 30433

BAILY GARNER



This form should be saved to your device and then completed using the free Adobe Acrobat Reader application or full version of Adobe Acrobat. Many internet browsers and other applications can display PDF files, but we cannot guarantee their compatibility in regard to these forms. We specifically advise users of Apple devices not to use 'Preview' because of known issues.

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See Planning Practice Guidance for CIL for guidance on CIL generally, including exemption or relief...

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

1. Application Details		
Applicant or Agent Name:		
Planning Portal Reference (if applicable):		
Local authority planning application number (if allocated):		
Site Address:		
Lock up garages and land adjacent to 22 Darwin Walk. Duston Northampton NN5 6LR		2
		11
Description of development:		
Erection of 3 new build units and demolition of 16 domestic lock up garages.	8	
		= 0
		20
		8
Does the application relate to minor material changes to an existing planning permission (in it a Section	72 application)2	
Does the application relate to minor material changes to an existing planning permission (is it a Section	/ application)?	
Yes Please enter the application number:	= 8:	
No [
If yes, please go to Question 3. If no, please continue to Question 2.		

2. Liability	for CIL
Does your de	evelopment include:
a) New build	floorspace (including extensions and replacement) of 100 sq ms or above?
Yes 🔀	No 🗌
b) Proposals conversion of	for one or more new dwellings (including residential annexes) either through new build or conversion (except the fa single dwelling house into two or more separate dwellings with no additional floorspace)?
Yes 🗌	No 🔀
c) None of the	e above
Yes	No 🔀
	ed yes to either a), or b) please go to Question 4. ed yes to c), please go to 8. Declaration at the end of the form.
3. Applicat	tions for Minor Material Changes to an Existing Planning Permission
	application involve a change in the amount or use of new build floorspace, where the total floorspace, including that anted planning permission, is over 100 sq m?
Yes 🔀	No [
are proposed	application involve a change in the amount of floorspace where one or more new dwellings (including residential annexes) I, either through new build or conversion (except the conversion of a single dwelling house into two or more separate h no additional floorspace)?
Yes	No 🔀
	red yes to either a), or b) please go to Question 4. red no to both a) and b), please go to 8. Declaration at the end of the form.
4. Exempt	ion or Relief
	owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be ed by or under the control of a charitable institution?
Yes	No 🔀
b) Does the	proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?
Yes 🔀	No
submitted a commencemyou are eligib	red yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 -'Claiming Exemption or Relief', and Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the lent of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think ble for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the thority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil
c) Do you wis	sh to claim a self build exemption for a whole new home?
Yes	No 🗵
www.plannir developmen	nswered yes to c) please also complete a CIL Form 7- 'Self Build Exemption Claim Form: Part 1' available from ngportal.co.uk/cil . Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of t) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your t, in order to benefit from relief from the levy.
d) Do you wi	sh to claim a self build exemption for a residential annex or extension?
Yes	No 🗵
Form 9 - 'Sel have comple Charging/Co	nswered yes to d) please also complete either CIL Form 8 -'Self Build Residential Annex Exemption Claim Form' or CIL f Build Extension Exemption Claim Form' available from www.planningportal.co.uk/cil Please note you will need to sted and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your not of the commencement of your noter to benefit from relief from the levy

5. Reserved Matters A			94,310.00	
Does this application relate introduction of the CIL char	e to details or reserved matte ge in the relevant local auth	ers pursuant to an application	n that was granted planning	permission prior to the
	ter the application number:			
No 🗌				
	go to 8. Declaration at the continue to complete the fo			
basements or any other bui N.B. conversion of a single	volve new residential floors Idings ancillary to residentia dwelling house into two or n	space (including new dwelling I use)? nore separate dwellings (without or one of the control of	nout extending them) is NOT	liable for CIL. If this is the
Yes ☐ No ⊠				
		providing the requested infor er buildings ancillary to reside		ace relating to new
b) Does your application in	volve new non-residential t	floorspace?		
Yes ☐ No 🗵				
If yes, please complete the	table in section 6c) below,	using the information provide	ed for Question 18 on your pl	anning application form.
c) Proposed floorspace:				
Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv)Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)	0	0	234	234
Social Housing, including shared ownership housing (if known)	0	0	234	234
Total residential floorspace	0	0	234	234
Total non-residential floorspace	219	219	0	-219
Total floorspace	219	219	234	15
7. Existing Buildings		·		
	ings on the site will be retain	ned, demolished or partially	demolished as part of the de	velopment proposed?
Number of buildings: 3				_ gode puts - t
that is to be retained and/or months within the past thirt the purposes of inspecting	demolished and whether a y six months. Any existing	sting building that is to be ret ill or part of each building has buildings into which people thinery, or which were grante	s been in use for a continuou do not usually go or only go	s period of at least six into intermittently for

included here, but should be included in the table in question 7c).

7. Existing Buildings continued									
	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	•	d use of retained oorspace.	Gross internal area (sq ms) to be demolished.	of the build for its law continuou the 36 pre (excludir	uilding or part ding occupied wful use for 6 us months of evious months og temporary iissions)?	last o lawful u the dat or tic	was the building occupied for its ise? Pleaseenter e (dd/mm/yyyy) ck still in use.
1	GARAGE 1	= = = ; ;;			58	Yes	No 🗵	Date: or Still in u	se:
2	GARAGE 2		d ve	a e	82	Yes 🗌		Date: or Still in u	se:
3	GARAGE 3	10 10		38 51	79	Yes 🗌	No 🔀	Date: or Still in u	ise:
4						Yes 🗌	No 🗌	Date: or Still in u	ise:
	Total floorspace			, a, i	219			10. 10	
c) [Does your proposal include the only go into intermittently for	retention, d	lemolition or	r partial demolitic	on of any whole	buildings	into which p	eople d	o not usually go
per	only go into intermittently for mission for a temporary perio	od? If yes, p	lease comp	lete the following	table:		y, or willou w	ure yra	mod plaining
	Brief description of existing to description) to be retained			Gross internal area (sq ms) to be retained	Proposed ι	use of reta	ined floorspac	се	Gross internal area (sq ms) to be demolished
1	8				-	7	2		v .
2				8 8	21	8			
3	1 "	r			8	•			1
4		<u> </u>	1	1	8		4 / ×	-	_
1	otal floorspace into which peop only go intermittently to inspec nachinery, or which was grante permissior	t or maintai d temporary	n plant or		-		90 V	97	X T
	f your development involves the ding? Yes \to No \to		of an exist	ing building, will	you be creating	a new m	ezzanine flooi	r within t	the existing
	Yes, how much of the gross int	ternal floors	pace propos	sed will be create	d by the mezzai	nine floor	(sq ms)?		
	9		Us	е				Mezza	anine floorspace (sq ms)
			1	9				×	,
			51		×				a

8. Declaration	, B
I/we confirm that the details given are correct.	
Name:	
I.Barrett on behalf of Baily Garner	
Date (DD/MM/YYYY). Date cannot be pre-application:	
07/02/2019	95
It is an offence for a person to knowingly or recklessly supply information which is false or mislead or charging authority in response to a requirement under the Community Infrastructure Levy Regulation, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two	lations (2010) as amended (regulation
For local authority use only	
App. No:	

guitar di puntusquen remigland punt puntusprom mendifikungan mendiri dugu autora a sili di malumpi di ing Ing Not hang Superang san CCCS) engalabagang kelam mendirang di memberikan salah salah salah salah sili di memberikan pendiri di memberi



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Community Infrastructure Levy (CIL) - Form 2: Claiming Exemption or Relief

This form should be used to claim charitable relief, social housing relief, and/or exceptional circumstances relief prior to the commencement of development. Any relief must be granted, AND a Commencement (of development) Notice sent to, and received by, the Charging/Collecting Authority prior to the commencement of your development. Otherwise the full levy charge will be payable.

Where liability for the levy is shared, this form should be completed by each party wishing to seek exemption or relief from the levy.

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See Planning Practice Guidance for CIL for guidance on CIL generally, including claiming exemption or relief.

Privacy Notice

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Upon receipt of this form and any subsequent information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

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Claimant	Name and Address	Agent Nar	me and Address
Title:	Mr First name:	Title:	Miss First name:
Last name:	Bolton	Last name:	Barret
Company (optional):		Company (optional):	
Position:	8 2 2 2 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	Unit:	House number: House suffix:
Company re (where app		House name:	55 Charlotte Street
Unit:	House number: House suffix:	Address 1:	
House name:	The Guildhall	Address 2:	
Address 1:		Address 3:	
Address 2:		Town:	4 Y Y
Address 3:	8	County:	
Town:	Northampton	Country:	9
County:	* 0 3	Postcode:	B1 1PX
Country:	<u> </u>	Telephone r	EXIO IGIOTI
Postcode:	NN1 1DE		
Telephone Country co	EXCHOLO	Email addre	ess (optional):
Email addre	ess (optional):		
[
Charity D	Details		
Charity reg	istration no: (where applicable)		
	represents a charity exempt or excepted from , please state grounds:		
HMRC tax	registration no: (where applicable)		8 X
	represents a trust of which all the beneficiaries are charities what form this takes (eg a Common Investment Fund)	es or a unit trus	ist scheme in which all the unit holders are charities,
I wish to ap	☐ (Go to Section A1) ☐ relief (Go to Section	1 A2) 🔼 ((Social housing relief (Go to Section A3) Construction of the section A4) Construction of the section A4) Construction of the section A4)
	s of relief are at the discretion of the Charging Authority, su onary social housing relief.	un as discretto	onary chantable relief, exceptional circumstances relief

	Section A1: (Charitable Relief	
I wish to claim: (tick 1 box)			
A mandatory exemption for using	this chargeable development w	holly or mainly for charitable purposes	s
Discretionary charity relief for holdi from which the profits will be applied	ing the greater part of this CIL c ed for charitable purposes.	chargeable development as an investm	nent
Before selecting this option please area.	check whether your Charging A	Authority has a policy for granting disc	retionary charitable relief in its
Supporting Information For	All Charitable Relief		
What are your charity's charitable p	ourposes?	g 0 °	a
What is the intended use of the de-	velopment and in what proportion	ons?	#
How (if at all) does your charity fulf	il the criteria in the charging aut	hority's discretionary relief policy? (Ma	aximum 100 words)
*			
			a
What is your apportioned CIL liabili this.	ty for this chargeable developm	nent? Please use the apportionment as	ssessment at Annex A to calculate
Please provide a breakdown of all	the activities of your organisatio	n, including any goods or services it tra	ades in and what these are:

Please complete the relevant declaration below and provide the supporting information: **Declaration - Mandatory Relief** I wish to be granted mandatory relief for my portion of the CIL liability. I declare that all the below points apply:

- As indicated in Section B above, I am a person or trust established for charitable purposes only (a "charity") or I am a trust of which all the beneficiaries are charities or a unit trust scheme in which all the unit holders are charities; and
- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date planning permission first permits the chargeable development; and
- I do not own this interest jointly with a party which is not a charitable institution; and
- the whole or main part of the chargeable development will be used for charitable purposes (whether of myself, or of myself and other charities); and
- a qualifying charity will occupy or control the portion of the chargeable development used for charitable purposes; and
- I have completed an apportionment assessment to determine the extent of my CIL liability and will submit a revised amont where I make a material disposition of any of the relevant land prior to commencement of

development; and	e i make a material disposition of an	y of the relevant land pr	nor to commencement of
l understand:			
Regulations (2010) as amended; The meaning of a "disqualifying e' commencement of development that my claim for relief will lapse authority informing me of its decise	onsidered for discretionary relief und vent" for CIL charitable relief and tha t I must inform the collecting authorit where development commences on sion where a commencement notice is n	der regulation 45 of the of th	Community Infrastructure Levy event occurs before or after opment prior to the collecting
T.		e - Agent:	Date (DD/MM/YYYY):
Name - Claimant:	Date (DD/MIN/1111). Of Harris	e - Agent.	
It is an offence for a person to knowingly or collecting authority in response to a require 2010/ 948). A person guilty of an offence ur	ement under the Community Infrastro	ucture Regulations (201	as amended (regulation 110, SI
which all the beneficiaries are cha I am an owner of a freehold intereducte of planning permission first part of the whole or the greater part of the an investment from which the property and the portion of the chargeable devand I am satisfied that I meet the crite I have completed an apportionment apportionment assessment where development; and understand: The meaning of a "disqualifying ecommencement of development."	am a person or trust established for unities or a unit trust scheme in which est in the relevant land or a leasehol permits the chargeable development with a party which is not a charitable ne chargeable development will be hofits will be applied for charitable pur velopment held in the manner descretia advertised by the charging authorities and a material disposition of an event" for CIL charitable relief and the I must inform the collecting authorities where development commences or ision	r charitable purposes on hall the unit holders are ld interest in the relevant; and e institution; and held by myself or by myself or by myserboses (whether of myseribed above will not be unority for giving discretion tent of my CIL liability and of the relevant land point where a disqualifying the within 14 days.	e charities; and at land of 7 years or more from the self and other qualifying charities as elf, or of myself and other charities); used for ineligible trading activities; mary relief; and and will submit a revised orior to commencement of g event occurs before or after

Name - Claimant:	Date (DD/MM/YYYY):	Or name - Agent:	Date (DD/MM/YYYY):
-		8	

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Section A2: Exceptional circumstances relief					
Charging Authority De	tails	(4)	à		1
Before completing this form, parea	please check your Charging A	uthority has deci	ded to accept claims	for exceptional circu	mstances relief in its
Please state charging author	ity for chargeable developmer	nt:		f sa e	
Supporting Information	n for Exceptional Circum	nstances Reli	ef		
Please provide a summary of Charging Authority's exception	of why you wish to be consider onal circumstances policy (ma	ed for exceptiona eximum 500 word	ıl circumstances relie ls):	f and how you meet	the terms of the
				8	
w					
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1					
50					
e e					
If allowed with a second of the second of th	handalan et all discourse section		At a second		
these are:	breakdown of all the activities	of your organisat	ion, including any go	ods or services it tra	des in and what
e w e		(C)	8		
		2			
			¥		
				·	
	nts - Checklist ecklist to make sure you have so application not being accepte		nation in support of ye	our claim. Failure to	submit all
An assessment carried out by	y an independent person of th	ne economic viab	ility of the chargeable	e development;	
An explanation of why, in the on the economic viability of tl all the necessary information;	opinion of the claimant, payn hat development. This additio ; and	ment of the charg	eable amount would should not be include	have an unacceptal ed where the summa	ole impact ary provides
•	e material interest in the releva	ant land, an appo	ortionment assessme	nt.	

Declaration Page 1 Page
wish to be considered for discretionary exceptional circumstances relief for my portion of the CIL liability. declare that all the below points apply: - I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; and - A planning obligation under section 106 of the TCPA 1990 has been entered into in respect of the planning permission referred to at Section A: General Information; and - The charging authority has approved my choice of independent person to conduct the assessments required to accompany this claim; and - Copies of this completed form and the accompanying documentation will be sent to any other owners of the relevant land; and understand: - The meaning of a "disqualifying event" for CIL exceptional circumstances relief and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days. - That my claim for relief will lapse where development commences on this chargeable development prior to the charging authority informing me of its decision. - That it is an offence under sections 2 and 3 of the Fraud Act 2006, to commit fraud by false representation, or to fail to disclose information when under a legal duty to do so, and that should this be found to be the case for this declaration or the supporting information, I could face criminal proceedings.
Name - Claimant: Date (DD/MM/YYYY): Or name - Agent: Date (DD/MM/YYYY):
Name - Claimant: Date (DD/MM//1111). Of harrie - Agent.
t is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110 SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.
Section A3: Social housing relief (mandatory)
Supporting Information for Social Housing Relief Please indicate the type of social housing you intend to build and where on the site this will be located. A site map indicating the intended location of the social housing in the chargeable development MUST be attached. Please note that this must include any qualifying communal areas Please refer to drawing (P) 03 - Proposed Site Plan
Does your organisation operate separate management accounts for public service and commercial activities? Please supply evidence.
Northampton Partnership Homes operate a management account for public services only and do not undertake any commercial activities

I wish to claim social housing relief on the charg	geable development.				
I declare that all the below points apply:			A	eren Garden "	
 I am an owner of a freehold interest in the date of planning permission first permits 	the chargeable development	asenoid interest in the relevant	land of / years	or more from the	
- I have assumed liability to pay the CIL cl	harge on this chargeab	le development: and			
This chargeable development will include relief; and	 I have assumed liability to pay the CIL charge on this chargeable development; and This chargeable development will include qualifying dwellings as described in the CIL regulations relating to social housing 				
 The degree to which this chargeable developed will submit a revised relief assessment with the chargeable developed. 	 The degree to which this chargeable development consists of qualifying dwellings is as specified in the relief assessment and I will submit a revised relief assessment with supporting evidence where this changes prior to commencement of development; and 				
I understand: - The meaning of a "disqualifying event" for	or CIL social housing r	elief and that where a disqualify	vina event occu	rs. I must inform the	
collecting authority within 14 days and w - That where there is a disposal of any of	ill be liable to pay som the land on which thes	e or all of the relief I have claim e qualifying dwellings will be si	red.		
inform the collecting authority as soon as - That my claim for relief will lapse where:		occurs.			
- development commences on this charg		rior to the collecting authority in	nforming me of	its decision:	
 a commencement notice is not submitted this relief applies; 	ed prior to commence	ment of development of the ch	argeable devel	opment to which	
- my assumption of liability is withdrawn of	or otherwise ceases to	have effect, or is transferred to	another person	n	
Name - Claimant:	ate (DD/MM/YYYY):	Or name - Agent:		Date (DD/MM/YYYY):	
		I.Barrett on behalf of Baily Gar	ner	07/02/2019	
It is an offence for a person to knowingly or reck	dessly supply informati	on which is false or misleading	in a material re	enect to a collection	
authority in response to a requirement under the 948). A person guilty of an offence under this re	Community Infrastruc	ture Levy Regulations (2010) a	s amended (re	gulation 110, SI 2010/	
Continu A	A. Capiel havei			*	
Section A	(4: Social nousi	ng relief (discetionar	<u>y)</u>		
Please indicate the type of social housing you i indicating the intended location of the social ho include any qualifying communal areas				ote that this must	
indicating the intended location of the social ho				ote that this must	
indicating the intended location of the social ho				ote that this must	
indicating the intended location of the social ho				ote that this must	
indicating the intended location of the social ho				ote that this must	
indicating the intended location of the social ho				ote that this must	
indicating the intended location of the social ho				ote that this must	
indicating the intended location of the social ho	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	
Is this development in receipt of any other publicontributions from the local authority towards the	using in the chargeablic subsidy? (for examp	e development MUST be attack le, funding from the Homes and ble housing). If yes, please pro	d Communities	Agency, or te of how much the	

Declaration

I wish to claim social housing relief on the chargeable development.

I declare that all the below points apply:

- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; and

- I have assumed liability to pay the CIL charge on this chargeable development; and

- This chargeable development will include qualifying dwellings as described in the CIL regulations relating to discretionary social housing relief; and
- The degree to which this chargeable development consists of qualifying dwellings is as specified in the relief assessment and I will submit a revised relief assessment with supporting evidence where this changes prior to commencement of development; and I understand:
 - The meaning of a "disqualifying event" for CIL social housing relief and that where a disqualifying event occurs, I must inform the collecting authority within 14 days and will be liable to pay some or all of the relief I have claimed.
 - That where there is a disposal of any of the land on which these qualifying dwellings will be situated to another person, I must inform the collecting authority as soon as practicable after this occurs.

- That my claim for relief will lapse where:

- development commences on this chargeable development prior to the collecting authority informing me of its decision;

 a commencement notice is notice is notice. this relief applies; my assumption of liability is w 			argeable development to which another person.
Name - Claimant:	Date (DD/MM/YYYY):	Or Name- Agent:	Date (DD/MM/YYYY):
e Bours Brown			
It is an offence for a person to knowin authority in response to a requirement	t under the Community Infrastru-	cture Levy Regulations (2010) a	s amended (regulation 110, SI 2010/
948). A person guilty of an offence un	der this regulation may face unl	imited fines, two years imprison	ment, or both.

ANNEX A: APPORTIONMENT ASSESSMENT Please complete the table below, including the assessment of the percentage of the value of the interest in the relevant land owned by the claimant: Name of Owner Value of Interest (%) Type of Interest TOTAL VALUE OF ALL MATERIAL INTERESTS (MUST EQUAL 100%): This information will be used to calculate the amount of CIL relief that may be granted on this development. The collecting authority may choose to carry out its own assessment for these purposes. ANNEX B: RELIEF ASSESSMENT (SOCIAL HOUSING) Gross internal area of chargeable development including relevant communal development (sq m): Gross internal area of relevant communal development (sg m): Gross internal area of qualifying dwellings to which the relevant communal development relates (sq m): Gross internal floorspace on relevant land in continuous lawful use for 6 of the last 36 months that is: a) To be demolished (sq m):

Page 9 of 9

Please note that the collecting authority may choose to accept the above assessment or carry out its own assessment to determine the

Please attach a site plan indicating the position of qualifying dwellings and qualifying communal development.

b) Subject to change of use as part of the development (sq m)

relief to be granted.

	PLANNING CONSULTATION LIST
Application Reference N/2019/0324	N/2019/0324
Location	Garage 1 Lock Up Garages , Pendle Road, Northampton
Proposal	Demolition of 16no domestic lock up garages and erection of 3no dwellings and provision of parking area

CONSULTEES			
Name	Туре	Sent Date	Expiry Date
NBC Arboricultural Officer	Consultation	18/03/2019	08/04/2019
NBC Public Protection	Consultation	18/03/2019	08/04/2019
NBC Estates & Valuation	Consultation	18/03/2019	08/04/2019
Northamptonshire Police	Consultation	18/03/2019	08/04/2019
Duston Parish Council	Consultation	18/03/2019	08/04/2019
Cllr Tim Hadland	Consultation	18/03/2019	08/04/2019
Cllr Suresh Patel	Consultation	18/03/2019	08/04/2019
NCC Highways & Access	Consultation	18/03/2019	08/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	18/03/2019	08/04/2019

Overall Consults Expiry Date: 8 April 2019

Overall Re-Consults Expiry Date:

NEIGHBOURS				
Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
1 Pendle Road	9			
Northampton	18/03/2019	18/03/2019 08/04/2019		
NNS 6LS				
10 Darwin Walk	W			
Northampton	18/03/2019	18/03/2019 08/04/2019		
NNS 6LR		180		

11 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
11 Pendle Road Northampton NNS 6LS	18/03/2019	08/04/2019		
12 Darwin Walk Northampton NNS 6LR	18/03/2019	08/04/2019	A	
13 Darwin Walk Northampton NNS 6LR	18/03/2019	08/04/2019		
13 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
14 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
15 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019	2.0	8
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17 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019	# E	
17 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		e e
18 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		9
19 Darwin Walk Northampton NNS 6LR	18/03/2019	08/04/2019		

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23 Darwin Walk				
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NN5 6LR				
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NN5 6LR	8			
29 Reedham Close				
Northampton	18/03/2019	08/04/2019		
NNS 6TT	H 1	TOR.		
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37 Reedham Close				
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39 Reedham Close				14
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NN5 6TT			ī	
5 Pendle Road				
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NNS 6DT	e:			

Overall Neighbour Expiry Date: 8 April 2019

Overall Neigh Re-consults Expiry Date:



Prepared by:

Contact:

Baily Garner LLP 55 Charlotte Street, Birmingham, B3 1PX T. 0121 236 2236

www.bailygarner.co.uk

Authorised For Issue: ML

Date: 04/02/2019

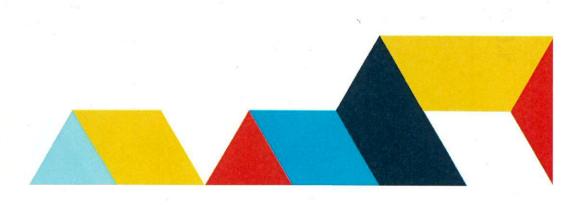
Lock up Garages and Land Adjacent to 22 Darwin Walk Northampton NN5 6LR Pendle Road

CONTENTS

- ntroduction
- Juderstanding the Context Desktop Study
- Juderstanding the Site Constraints & Opportunities
 - Understanding the Site Public Consultation
- Design Content & Design Intent
- -ayout Proposed Site Plan
 - -ayout Proposed Plans
- -ayout Proposed Elevations & Section
- Scale, Appearance & Materials
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- andscaping & Site Security
- Access Statement

 - Sustainability 10.0
- Summary & Conclusions Highways & Parking
 - Appendices





1.0 INTRODUCTION

- has been prepared by the designers, Baily Garner, acting as consultant Architects planning authority and the design development which has led to the application. It for Northampton Partnership Homes, the owners of the site and applicants for the his Planning Statement has been prepared to explain the design process and Pendle Road . It sets out the analysis of the site, the consultation with the local determinants which have shaped the proposed redevelopment of the site at development. It is prepared in support of a detailed Planning Application to Northampton Borough Council.
- Document Design and Access Statements How to Write, Read and Use Them. The format of the design and access statement follows the CABE Guidance

<u>=</u>:

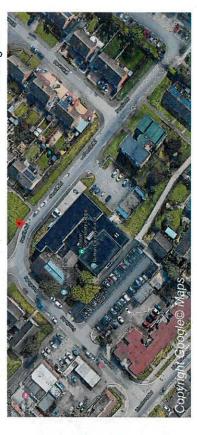
- for Planning Applications to be accompanied by a Design and Access Statement This report responds to the local requirements of Northampton Borough Council or Planning Statement which explains; ≝
- a) the design principles and concepts that have been applied to the development
- b) how issues relating to the access to the development have been dealt with
- This Statement therefore: ≥
- physical, local and economic characteristics and relevant planning policy and Provides a review of the site's immediate and wider context in terms of its guidance. >
- Provides a rationale for the scheme's design.
- Explains and illustrates the design principles in terms of the development's layout, scale, landscape and visual appearance. ≓ <u>≒</u>
 - Explains how the development will meet the local authority's planning design \equiv
- And demonstrates how the proposals meet access for all criteria. ×

2.0 UNDERSTANDING THE CONTEXT - DESKTOP STUDY

- The site is located within the town of Northampton and is situated on Pendle Road.
- The site can be accessed by pedestrians from Pendle Road. Vehicular
 access is provided off the Witton Road and Limehurst Road, where there
 is also emergency vehicle access.
- III. The site is currently used for lock-up domestic garages. The site is also bordered by timber fencing and brick walls.
- IV. The surrounding area is predominantly residential and the buildings consist of 2 and 3 storey properties.
- V. There is good accessibility to public transport and the site location is within walking distance of bus stops. There is a primary school within 5 minutes walk as well as a community centre and high street shops.
- VI. The site is adjacent to neighbouring properties.
- VII. The site is around 15 minutes drive to Northampton City Centre, or 25 minutes via public transport. The site has good links to the M1, providing access to London in just over one hour.



Existing Site



Existing Site



Existing Site



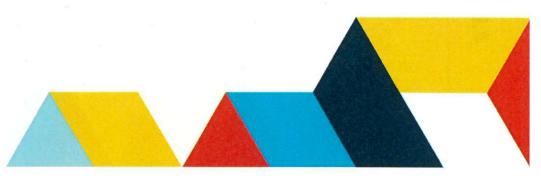
Existing Site

3.0 UNDERSTANDING THE SITE - CONSTRAINTS & OPPORTUNITIES



3.1 UNDERSTANDING THE SITE - PUBLIC CONSULTATION

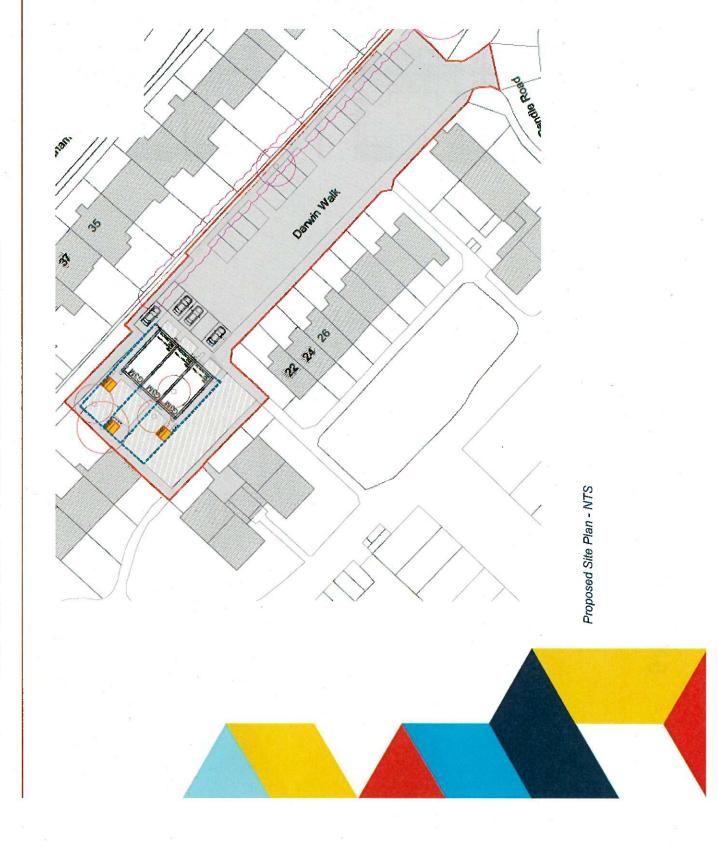
- During the development stage it was important that the views of existing local residents were considered. A public consultation was carried out, where local residents were invited to comment on the proposals.
- It allowed the public to engage and influence the design process and raise any concerns they had. During the consultation process over 50 responses were received from neighbouring residents.
- III. This fundamental process allowed key feedback to be incorporated and considered during the design process. It has informed the design decisions made and the resulting proposal for the scheme.



4.0 DESIGN CONTENT & DESIGN INTENT

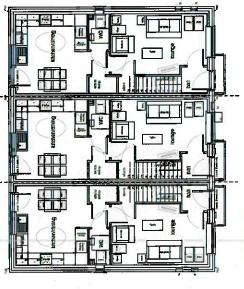
- The application seeks to demolish existing garages and proposes to replace these with a detached new build dwelling and associated parking within the site.
- The proposed dwelling is a 2 bedroom 4 person property over 2 storeys.
- The design intent is to provide homes which fit into the context of the site.
 It creates attractive and high quality buildings that sit harmoniously within its context.
- IV. The development follows the form of the existing street scene, with the main habitable rooms located to the front of the property and the other rooms to the rear for privacy and security for tenants.
- V. The design of the development seeks to ensure that the proposal is appropriate to the scale of existing buildings around the site and connects to its immediate context.
- VI. The development is designed in response to the constraints of the site and to provide a high quality living environment to its future residents and neighbours.
- VII. The design allows for on site car parking spaces within the site boundary of a domestic garage which is proposed to be demolished. This will provide the proposed and the neighbouring properties with sufficient parking with any remaining parking spaces for visitors.
- VIII. All doors and windows are to be secure and to provide natural surveillance according to the Northampton Planning Out Crime in Northamptonshire Supplementary Planning Guidance document. All entrance doors are to be fitted with a secure locking system.



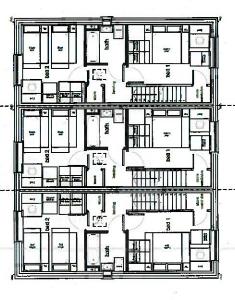


5.1 LAYOUT - PROPOSED PLANS

- The layout of the buildings arrange the habitable accommodation to both the front and rear of the properties to provide comfortable and light spaces.
- There are no overlooking windows proposed on the side elevations.
- The property has provision for a shed and refuse storage.
- IV. The layout provides a flexible open plan kitchen/dining space at the rear of the property with the living room to the front.
- V. The design of the pitched roof reflects the neighbouring properties and ensures that the new dwellings is concurrent with its surroundings.
- VI. Step free access from property and dropped kerbs allow for ease of movement for residents to ensure refuse can be left in a convenient place for removal.
- VII. The layout follows Secured by Design principles, giving clear articulation of the public and private realms.



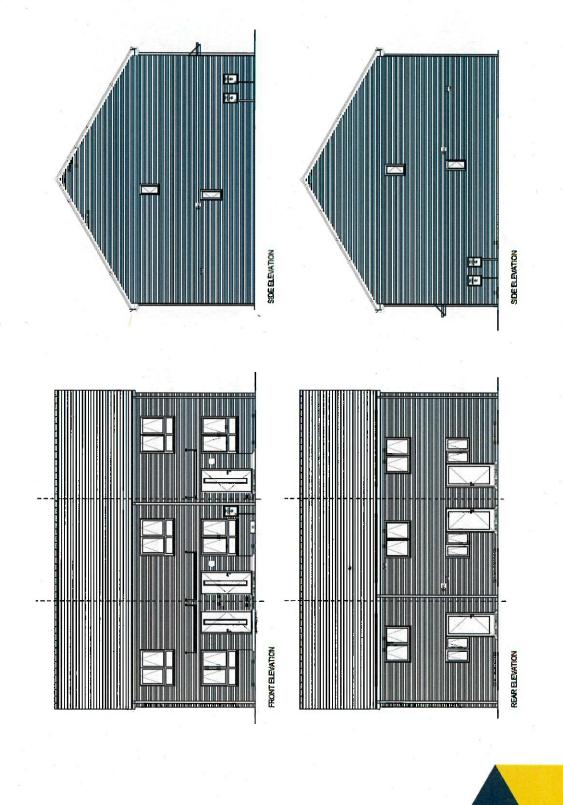
GROUND FLOOR PLAN



PRST FLOOR PLAN

Proposed Floor Plans - NTS

5.2 LAYOUT - PROPOSED ELEVATIONS & SECTION



Proposed Elevations - NTS

6.0 SCALE, APPEARANCE & MATERIALS

SCALE

- The design of the new development seeks to ensure that it is appropriate to the scale of the existing buildings around the site and connects to its immediate context.
- . The surrounding properties are two / three storey residential houses.
- III. Street scenes were used through the design stages to ensure that the scale of the development was most appropriate in terms of the context, but also provides a functional building.

MATERIALS

- The choice of materials and simple ordered patterns mirror the character of the surrounding properties, and reinforce the residential appearance.
- A restricted palette of low maintenance materials such as brick, render and tiles have been incorporated within the design to minimise the costs associated with maintenance, and to allow the buildings to age gracefully over time.
- Care has been taken to propose a design of high quality with crisp detailing, which is complimented by a rationalised landscaping scheme to both the front and rear of the development.

FURTHER DETAILS

- For further detail on materials and boundary types, please refer to the following drawings:
- (P) 03 Proposed Site Plan
- SCH-001 External Facing Materials
- SCH-002 Landscape and Planting
- SCH-003 Bicycle, Sheds and Refuse Stores



Typical local vernacular



Typical local vernacular

7.0 PROPOSED STREET ELEVATIONS



8.0 LANDSCAPING & SITE SECURITY

LANDSCAPING PRINCIPLES

- Site specific solution considering orientation, exposure and light.
- The dwellings are strategically set out on site to allow a protective frontage with low-level shrubbery and fencing. =
- Property boundaries will be secured by means of a 1.8m close-boarded timber fence with lockable gates and a trellis top. Car parking areas will be illuminated with security lighting to enable surveillance from surrounding properties and to improve the sense of security and safety. Entrance points and pedestrian areas on the site are to be well lit to assist in navigation around the site and improve the potential for surveillance.

Ē

- The existing vehicular access to the site has been retained.
- Low maintenance scheme which can develop and improve with age.
- Landscaping has been integrated within the scheme to add greenery to hard landscaped areas and to define defensible space which encourages and supports site security, services and access. It is also references and is inkeeping with the existing landscaping seen across the site. j



Typical Boundary treatment within surrounding area



Typical Boundary treatment within surrounding area

9.0 ACCESS STATEMENT

- The properties can be accessed from the front and rear. The front entrance will be built with a canopy for shelter from adverse weather conditions and to provide a physical presence to the street.
- The ground floor is designed with corridors at 1.5m wide where possible, and at a minimum of 1.1m where it is not. A Part M compliant staircase will be constructed between floors, however wheelchair accessible accommodation is only required at the ground floor.
- All interior arrangements are designed in accordance with client specific requirements as priority, however HCA Guidance and Lifetime Homes guidance have been considered.
- IV. All bin storage can be accessed externally, and is easily accessible with 1.2m path leading from storage area to collection point.
- V. The street will remain pedestrian, cycle and vehicular friendly; with pedestrian priority.
- VI. In order to comply with highways requirements, the maximum access gradient for driveways and paths will not exceed 1 in 15 for a minimum of the first 10m from the highway boundary.
- VII. Where appropriate a slot drain or permeable paving will be implemented on driveways to prevent surface water discharge onto the road.
- VIII. All driveways and private vehicular accesses will have a hard bound surface for the initial 5m from the highway boundary.
- No features will be implemented within visibility splays.



10.0 SUSTAINABILITY

- The property has been designed with large windows and double glazing on to promote natural light and ventilation and to achieve the required daylight standards for each room.
- Where possible the new development will incorporate SUDS.
- The design incorporates a passive ventilation strategy, with cross ventilation in all habitable rooms. The orientation and pitch of the roof provide suitable platform for installation of renewable panels in future.
- The property has the capacity to install rainwater harvesting butts for water collection.
- The property also provides capacity for recycling facilities within the kitchen and externally.



11.0 HIGHWAYS & PARKING

- The main point of vehicular access to the site is located on Pendle Road.
 This access point can also be used for emergency vehicles.
- II. The design allows for 22 car parking spaces within the site boundary which are for use of the new and existing residents and visitors. The parking spaces provided within the scheme comply with the number prescribed for new residential developments in the Northamptonshire County Council's Parking Standards Guidance document.
- III. The plot is also provided with the recommended private bicycle storage in the form of a shed at the side of the property.
- IV. The proposal will not increase capacity on the road as the development makes use of existing access points from Witton Road and Limehurst Road.



Proposed Site Plan - NTS



12.0 SUMMARY & CONCLUSIONS

- The application is designed to provide homes for specially identified needs within the residential site at Pendle Road, Northampton.
- The application is a carefully considered, high quality sustainable scheme failored to its location.
- III. The proposal will provide much needed affordable housing to the district and town.
- V. Overall the scheme design takes into account the neighbouring context as well as the existing planning policy documents, providing a sustainable housing development which enhances its immediate surroundings. We trust that the Planning Department will support this application and recommend approval to the local members.



13.0 APPENDICES

Planning Policies

Principal

The proposal has been drawn up with reference to the Northampton Urban Design Appraisal. Central Area Action Plan (LAAP 2013), Northampton local Development plan(2017).

The application supports the relevant strategic objectives of the Adopted Plan, especially:

CP2: Population and Housing Growth:

The proposal provides 100% affordable units, but also meets specific needs of housing tenants.

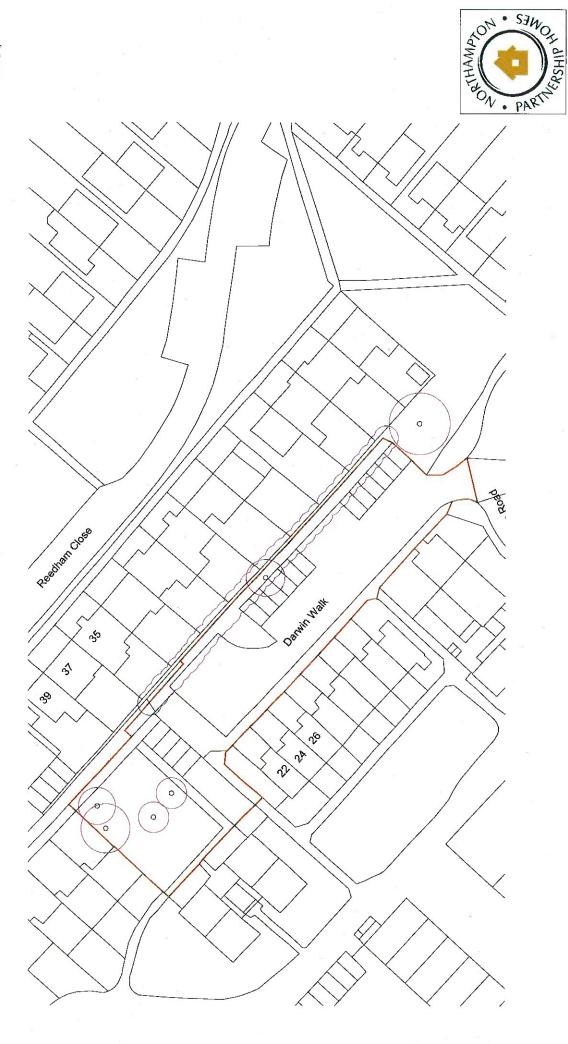
Supplementary planning Guidance (SPG) produced by the Northampton Borough Council, considered to be of relevance to the proposal:

SPG: Mobility Housing Design Guide SPG: Northamptonshire Parking Standards



LOCK UP GARAGES AND LAND ADJACENT TO
22 DARWIN WALK
PENDLE ROAD
NORTHAMPTON
NN5 6LR







10m

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YPE B1

1.1m high metal fencing or similar approved

EXTERNAL



YPE B2

plinth - in black. Brickwork - IBSTOCK Wylam Olde Blend or similar approved. fence on top of a brickwork



1.2m high boundary wall - metal 1.8m high close timber boarded 1.8m hit and miss fence or timber panels with trellis top or similar apporoved. similar approved.



HARDSTANDING

Tarmac finish or similar approved.



Permeable block paving or TYPE H2



similar approved.





Artificial slate roof tiles by

TYPE EX3 IBSTOCK Sandalwood Buff brick in a stretched bond

TYPE EX2 IBSTOCK trafford multi rustic Warm tone brick in a stretcher bond pattern or similar

approved.

IBSTOCK Wylam Olde Blend or TYPE EX1 Red brick in a stretcher bond

similar approved.

RAINWATER GOODS

pattern or similar approved.

DOORS

tiles by Marley Eternit - Ashmore -colour Olde English Dark Red or Artificial clay appearance roof Interlocking Double Plain Tile similar approved. Fibre Cement - colour blue Marley Eternit - Rivendale black or similar approved.

WINDOW



uPVC frame window in white or similar approved. **LYPE W1**

uPVC frame door uPVC frame door in white or similar in grey or approved.

uPVC rainwater goods from Marley Plumbing in white or similar approved.

JPVC rainwater goods from. Marley Plumbing in black or similar approved.

TYPE D2

TYPE D1

TYPE RW2

LYPE RW1



TYPE W2

uPVC frame window in grey or similar approved.



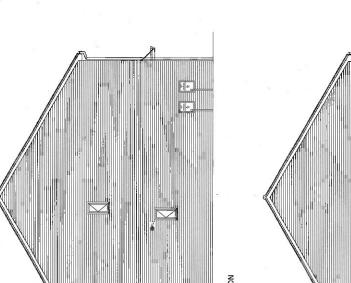
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External Facing Materials



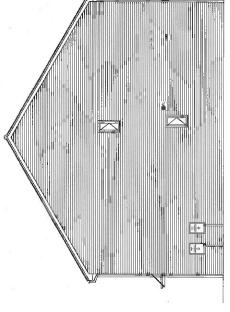








FRONT ELEVATION



SIDE ELEVATION

REAR ELEVATION

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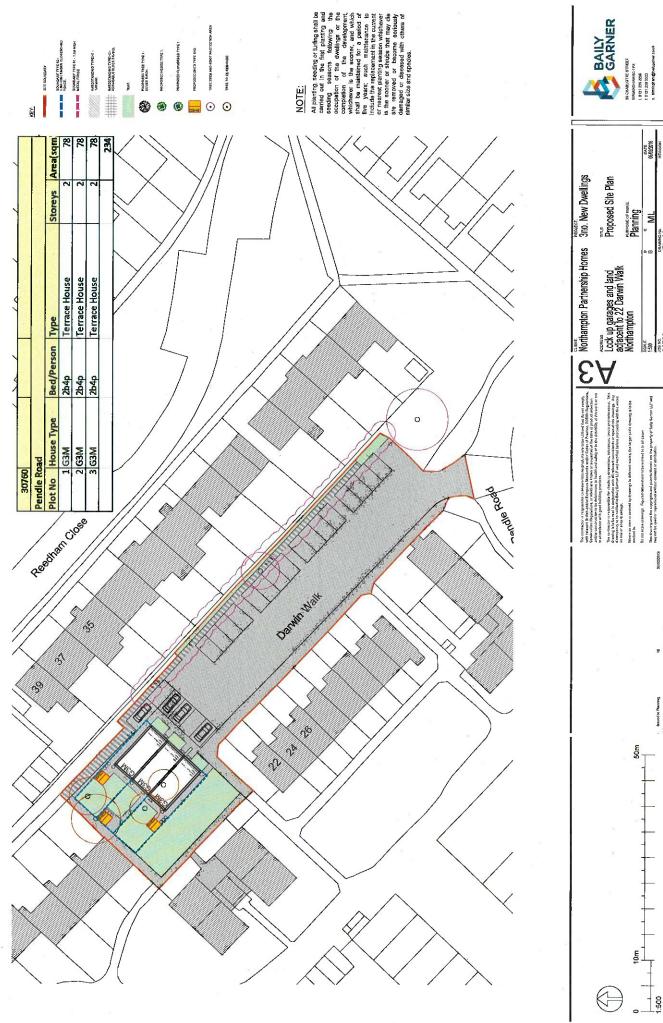
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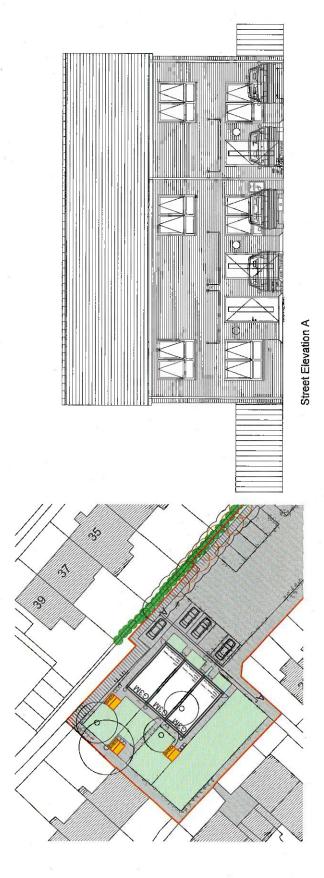
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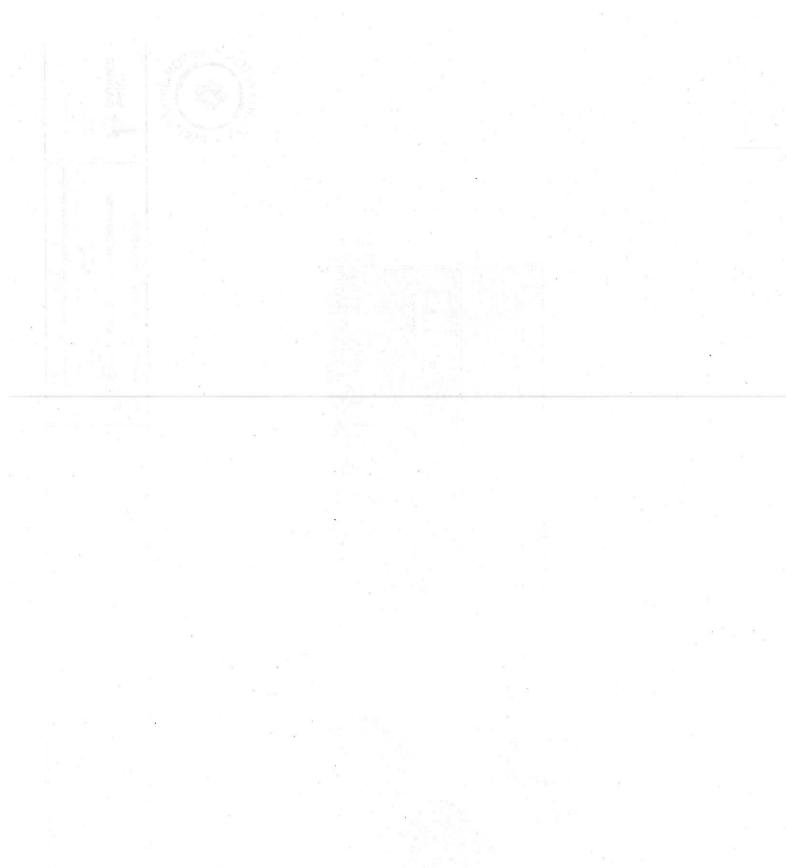
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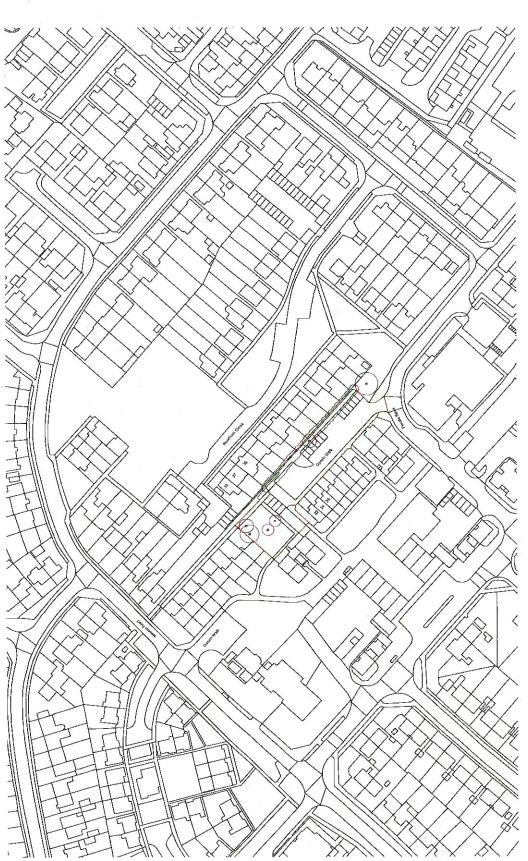






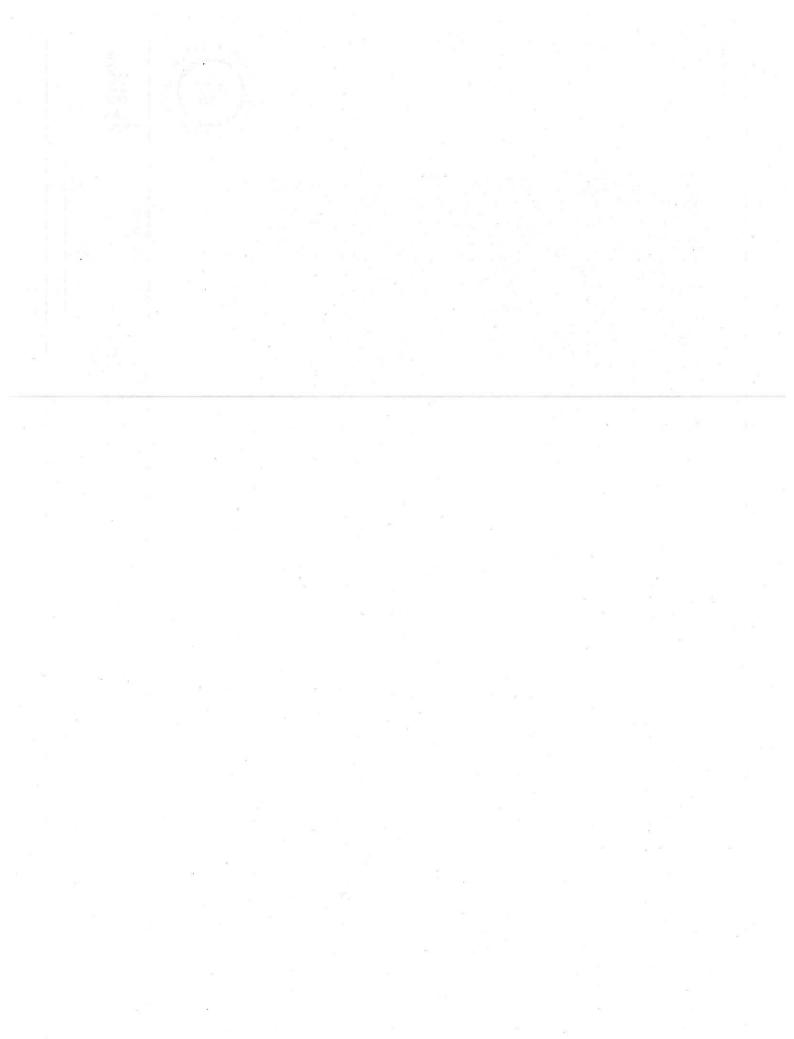
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Northampton Partnership Homes	Lock up garages adjacent to	Northampton	SCALE 0	30760 (P
3	A			
The organization or supportable to ensure their no products are to be unitiest that do not comply with referred from a mile theory or Standard order or a few face, Extitled department consistent froughtering and are are more or expected at its nine or ground expected.	the contractor of the property of the contractor	on site or deap utravage. Where an liten is covered by drawings to delictent scales, this larget scake drawing is to be worked to	On mat acute dezavings. Pigurod dimensions to ha worken be in all essave. Pris drawnig and the coeptrights and potentie diaruin oru the property of Bally Gener LLP and	may not be used or reproducted walkaut content or attributum.
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N/2019/0305

8 Knighton Close, Northampton, NN5 6NE

First floor side and front extension, conversion of part of garage to living accommodation and new front porch

accole to see



Development Control

1st Floor, The Guildhall St. Giles Square Northampton, NN1 1DE

Tel: 0300 330 7000 / email: planning@northampton.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling.

Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address	(A) (A)				84	
Number	8					i.
Suffix	× ·					X
Property name						E 82
Address line 1	Knighton Close					2
Address line 2						5) 1
Address line 3						**
Town/city	Northampton					8
Postcode	NN5 6NE					is.
Description of site locat	ion must be completed if postcode is not known:					
Easting (x)	471360					**
Northing (y)	263015					1
Description	**					25
	-	81	- 0	9	- 40	
2. Applicant Detai	ls					
Title	Мг					
First name	Josh					
Surname	Harding			8 .		754
Company name						
Address line 1	8, Knighton Close					
Address line 2						
Address line 3	× × × × × × ×					
Town/city	Northampton		25			æ
Country						

2. Applicant Detai	ls	
Postcode	NN5 6NE	
Primary number		
Secondary number		
Fax number		
Email address		
Are you an agent acting	g on behalf of the applicant?	⊚ Yes
3. Agent Details		
Title	Mr	
First name	Edward	
Surname	Gray	
Company name	Gray Architectural Design	
Address line 1	14 Bamburgh Close	
Address line 2		
Address line 3	500	
Town/city	Rushden	
Country	United Kingdom	
Postcode	NN10 0TD	
Primary number	07751216805	
Secondary number		
Fax number		
Email	info@grayarchitecturaldesign.co.uk	
4. Description of	Proposed Works	
Please describe the pr		
The proposal consists	of a two storey side extension with a new front porch	
Has the work already l	been started without consent?	
p wa 4 - 1 -	2	
5. Materials	volanment require any materials to b	
Please provide a desc	evelopment require any materials to be used in the build? cription of existing and proposed materials and finished	● Yes ● No s to be used in the build (including type, colour and name for each
material):		
Walls		
Description of existi	ing materials and finishes (optional):	Existing walls are brickwork in a cavity wall bond

5.	Materials	2	2
	Walls	<u> </u>	
	Description of proposed materials and finishes:	Proposed walls are to be brickwork in a	cavity wall bond to match existing
Γ	Roof		2 <u>2</u>
	Description of existing materials and finishes (optional):	Existing roof consists on a smooth clay	tile
	Description of proposed materials and finishes:	Proposed roof finish is to be a smooth c	lay roof tiles to match existing.
	Windows		
Ì	Description of existing materials and finishes (optional):	Existing windows are UPVC in a white fi	inish
	Description of proposed materials and finishes:	Proposed windows are to be UPVC in a	white finish to match existing.
Γ			
	Doors	.4	8 1
-	Description of existing materials and finishes (optional):	Existing doors are to be UPVC in a white	
L	Description of proposed materials and finishes:	Proposed doors are to be UPVC in a wh	ite finish to match existing.
JI JI JI JI	Yes, please state references for the plans, drawings and/or design and access H-P-01 - Existing Plans H-P-02 - Existing Elevations H-P-03 - Proposed Plans H-P-04 - Proposed Elevations H-P-05 - Proposed 3D Perspective Views H-P-06 - Existing & Proposed Block Plans	Statement	
Α	Trees and Hedges re there any trees or hedges on your own property or on adjoining properties w roposed development?	hich are within falling distance of your	☑ Yes
	fill any trees or hedges need to be removed or pruned in order to carry out you	r proposal?	© Yes ⊚ No
	,		
7.	Pedestrian and Vehicle Access, Roads and Rights of Way	9	
Is	a new or altered vehicle access proposed to or from the public highway?		© Yes ⊚ No
ls	a new or altered pedestrian access proposed to or from the public highway?		⊋Yes ⊚ No
D	o the proposals require any diversions, extinguishment and/or creation of publi	c rights of way?	⊚ Yes ⊚ No
_			
	Parking		
ν\	fill the proposed works affect existing car parking arrangements?	0 0 0	☑ Yes ◎ No
_	Cita Visit		
	Site Visit	o lond?	
	an the site be seen from a public road, public footpath, bridleway or other publi	G IdinG?	

9. Site Visit If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one) The agent The applicant Other person 10. Pre-application Advice Has assistance or prior advice been sought from the local authority about this application? Yes No 11. Authority Employee/Member
The applicant The applicant Other person 10. Pre-application Advice Has assistance or prior advice been sought from the local authority about this application? Yes No 11. Authority Employee/Member
 The applicant Other person 10. Pre-application Advice Has assistance or prior advice been sought from the local authority about this application? Yes No 11. Authority Employee/Member
Other person 10. Pre-application Advice Has assistance or prior advice been sought from the local authority about this application? Yes No 11. Authority Employee/Member
10. Pre-application Advice Has assistance or prior advice been sought from the local authority about this application? □ Yes □ No 11. Authority Employee/Member
Has assistance or prior advice been sought from the local authority about this application? Yes No 11. Authority Employee/Member
Has assistance or prior advice been sought from the local authority about this application? Yes No 11. Authority Employee/Member
Has assistance or prior advice been sought from the local authority about this application? Yes No 11. Authority Employee/Member
11. Authority Employee/Member
1874) was a start to a start in the smaller of and in smaller of the faller time.
With respect to the Authority, is the applicant and/or agent one of the following:
(a) a member of staff (b) an elected member
(c) related to a member of staff (d) related to an elected member
It is an important principle of decision-making that the process is open and transparent.
For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.
Do any of the above statements apply?
12. Ownership Certificates and Agricultural Land Declaration
CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate
under Article 14
I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land to which the application the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**
* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by
reference to the definition of 'agricultural tenant' in section 65(8) of the Act. NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.
Person role
☐ The applicant
● The agent
Title Mr
First name Edward
1 light states
Surname Gray
Declaration data 07/02/2010
Declaration date (DD/MM/YYYY) 07/03/2019
✓ Declaration made
☑ Declaration made
✓ Declaration made
13. Declaration
13. Declaration
13. Declaration I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.
13. Declaration /we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm



This form should be saved to your device and then completed using the free Adobe Acrobat Reader application or full version of Adobe Acrobat. Many internet browsers and other applications can display PDF files, but we cannot guarantee their compatibility in regard to these forms. We specifically advise users of Apple devices not to use 'Preview' because of known issues.

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See Planning Practice Guidance for CIL for guidance on CIL generally, including exemption or relief...

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

1. Application Details		,	promaca.	2		_ =
Applicant or Agent Name:						
Edward Gray - Gray Architectural Design Ltd	II II I'				7-1	5 , 5
Planning Portal Reference (if applicable):		n "				E = 1
Local authority planning application number (if allocated):		0				
Site Address:	N 01	18				
8 Knighton Close Northampton NN5 6NE	196	a a	3	15		
		× v				9
Description of development:	10 mm					3/
The proposal consists of a two storey side extension with a	new porch.	8	' a	41 21 22		
Does the application relate to minor material changes to an	existing planni	ng permission (is it	a Section 73 a	pplication)?		
Yes Please enter the application number: No X If yes, please go to Question 3. If no, please continue to Question 3.	estion 2			5 ₄		

2. Liability for CIL
Does your development include:
a) New build floorspace (including extensions and replacement) of 100 sq ms or above?
Yes No X
b) Proposals for one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?
Yes No X
c) None of the above
Yes ⋈ No □
If you answered yes to either a), or b) please go to Question 4. If you answered yes to c), please go to 8. Declaration at the end of the form.
3. Applications for Minor Material Changes to an Existing Planning Permission
a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?
Yes No No
b) Does this application involve a change in the amount of floorspace where one or more new dwellings (including residential annexes) are proposed, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?
Yes No No
If you answered yes to either a), or b) please go to Question 4. If you answered no to both a) and b), please go to 8. Declaration at the end of the form.
4. Exemption or Relief
a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?
Yes No No
b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?
Yes No No
If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 -'Claiming Exemption or Relief, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil
c) Do you wish to claim a self build exemption for a whole new home?
Yes No No limit No li
www.planningportal.co.uk/cil . Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (or development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.
d) Do you wish to claim a self build exemption for a residential annex or extension?
Yes No No
If you have answered yes to d) please also complete either CIL Form 8 -'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 -'Self Build Extension Exemption Claim Form' available from www.planningportal.co.uk/cil . Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development, in order to benefit from relief from the levy

Applications to details or reserved matte	ers pursuant to an application	n that was granted planning	permission prior to the
-	ority area?		
iter the application number:		9 "*	
K		и	
		, , , , , , , , , , , , , , , , , , ,	a .
ildings ancillary to residentia dwelling house into two or n	l use)? nore separate dwellings (with	nout extending them) is NOT	liable for CIL. If this is the
s s			
table in section 6c) below, persions, garages or any other	providing the requested infor er buildings ancillary to reside	mation, including the floorsp ential use.	ace relating to new
volve new non-residential t	floorspace?		
table in section 6c) below,	using the information provide	ed for Question 18 on your pl	anning application form.
(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv)Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
	*	100 20 20 20 20 20 20 20 20 20 20 20 20 2	
			9
	-		
lings on the site will be retail	ned, demolished or partially o	demolished as part of the de	velopment proposed?
r demolished and whether a ty six months. Any existing or maintaining plant or mac	ll or part of each building has buildings into which people hinery, or which were grante	s been in use for a continuous do not usually go or only go	s period of at least six into intermittently for
	it to details or reserved matter ge in the relevant local author ter the application number: go to 8. Declaration at the continue to complete the formspace volve new residential floors iddings ancillary to residential dwelling house into two or not preserve to the proposal, answer from table in section 6c) below, ersions, garages or any other volve new non-residential floorspace (square metres) (i) Existing gross internal floorspace (square metres) isting building/part of an exist demolished and whether a sty six months. Any existing or maintaining plant or maching or maintaining plant or maching or maintaining plant or maching is to demolishe the site will be retained by six months. Any existing or maintaining plant or maching or maintaining plant or maching is to demolishe the site will be retained by six months. Any existing or maintaining plant or maching plant pla	to details or reserved matters pursuant to an application ge in the relevant local authority area? ter the application number: go to 8. Declaration at the end of the form. continue to complete the form. rspace volve new residential floorspace (including new dwellin Idings ancillary to residential use)? dwelling house into two or more separate dwellings (with experiment proposal, answer 'no' to Question 2b and go streated in section 6c) below, providing the requested informations, garages or any other buildings ancillary to reside volve new non-residential floorspace? (ii) Existing gross internal floorspace (square metres) (iii) Gross internal floorspace to be lost by change of use or demolition (square metres) (iii) Gross internal floorspace to be lost by change of use or demolition (square metres) (iv) Existing gross internal floorspace (square metres) (iv) Existing gross internal floorspace (square metres) (iv) Existing gross internal floorspace (square metres) (iv) Gross internal floorspace (square metres)	to details or reserved matters pursuant to an application that was granted planning ge in the relevant local authority area? ter the application number: go to 8. Declaration at the end of the form. continue to complete the form. rspace volve new residential floorspace (including new dwellings, extensions, conversions/c lidings ancillary to residential use)? dwelling house into two or more separate dwellings (without extending them) is NOT poment proposal, answer 'no' to Question 2b and go straight to the declaration at Question 2b and go straight to the declaration at Question 3c and go straight to the declaration at Question 2b and go straight to the declaration at Question 3c and

/. E	Existing Buildings contin	iuea					20 100 100 100 100 100 100 100 100 100 1		
8	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.		d use of retained oorspace.	Gross internal area (sq ms) to be demolished.	of the build for its law continuou the 36 pre (excluding	uilding or part ding occupied vful use for 6 us months of vious months of temporary issions)?	last of lawful us the date	vas the building ccupied for its se? Pleaseenter e (dd/mm/yyyy) k still in use.
1	* ***	- I	8 1			Yes _	No 🗌	Date: or Still in u	se:
2				8		Yes 🗌	No 🗌	Date: or Still in us Date:	se:
3	2 1 2	40				Yes 🗌	No 🗌	or Still in u	se:
4						Yes	No 🗆	or Still in u	se:
	Total floorspace		The state of the s		u		1 0 32 3	27 12 1 23	#/
c) L	Does your proposal include the	retention, d	emolition o	r partial demolition	on of any whole	buildings	into which p	eople de	not usually go
or c	only go into intermittently for	the purpos	es of inspe	ecting or mainta	ining plant or	machiner	y, or which v	vere grai	nted planning
per	mission for a temporary perio	od? If yes, p	lease comp	4 1 1	table:			-	One a internal
	Brief description of existing to description) to be retained			Gross internal area (sq ms) to be retained	Proposed t	ise of reta	ined floorspac	се	Gross internal area (sq ms) to be demolished
1		- 8				55 24	Ф В		0
2						я			
3	E E	W 18			,				
4						20		\$	
(otal floorspace into which peop only go intermittently to inspec nachinery, or which was grante permissior	t or maintai d temporary	n plant or				9		
buil	your development involves the ding? Yes \(\text{\backslash} \text{No } \(\text{\backslash} \)		*					r within t	he existing
e) If	Yes, how much of the gross in	ternal floors	pace propos	sed will be create	d by the mezzar	nine floor ((sq ms)?	1	
			Us	e			:	Mezza	inine floorspace (sq ms)
					45				
	*,		9		e		د.		
-				·					

8. Declaration	* * * *
I/we confirm that the details given are correct.	
Name:	
Edward Gray	
Date (DD/MM/YYYY). Date cannot be pre-application:	
07/03/2019	
It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a nor charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years in	2010) as amended (regulation
For local authority use only	
App. No:	# ⁷

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	PLANNING CONSULTATION LIST
Application Reference N/2019/0305	N/2019/0305
Location	8 Knighton Close, Northampton, NN5 6NE
Proposal	First floor side and front extension, conversion of part of garage to living accommodation and new front porch

CONSULTEES			
Name	Туре	Sent Date	Expiry Date
Duston Parish Council	Consultation	18/03/2019 08/04/2019	08/04/2019
Clir John Caswell	Consultation	18/03/2019	08/04/2019
Cllr Matthew Golby	Consultation	18/03/2019	08/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	18/03/2019	08/04/2019

Overall Consults Expiry Date: 8 April 2019

Overall Re-Consults Expiry Date:

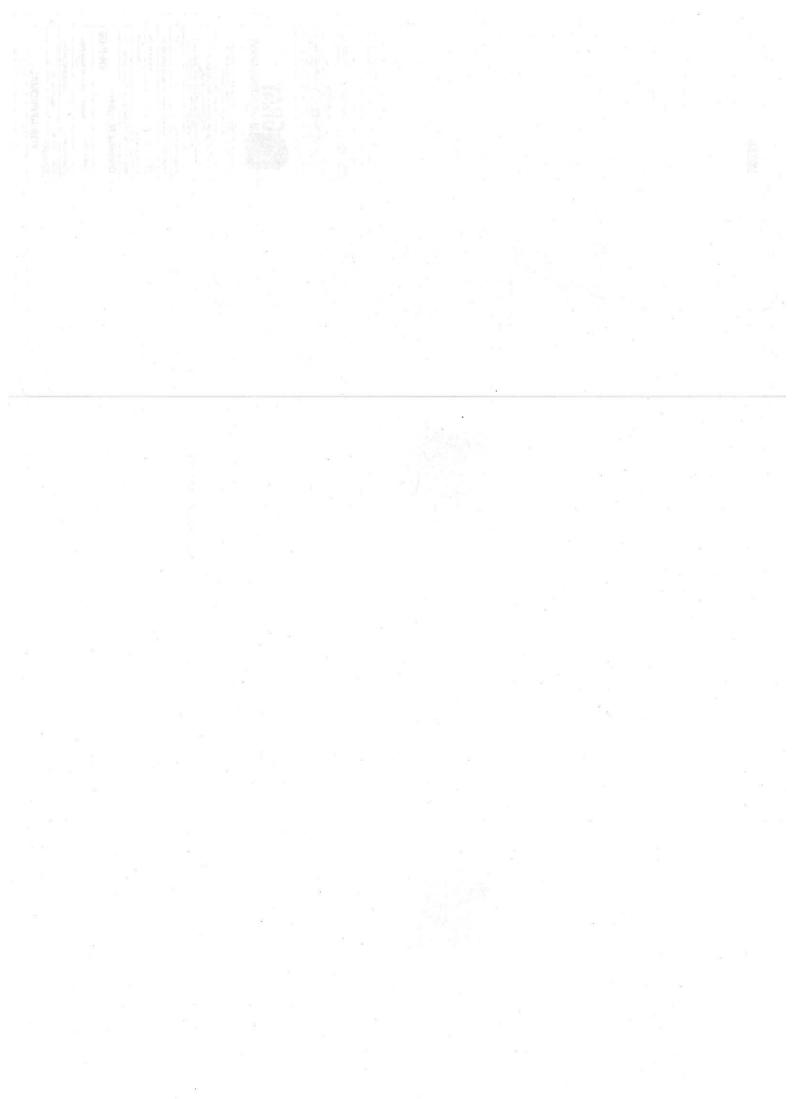
NEIGHBOURS				
Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
37 Knighton Close		v	21	
Northampton	18/03/2019	18/03/2019 08/04/2019	×	
NNS 6NE				2
7 Knighton Close	a			
Northampton	18/03/2019	18/03/2019 08/04/2019		
NN5 6NE		A E		
9 Knighton Close			8	
Northampton	18/03/2019	18/03/2019 08/04/2019	0	-
NNS 6NE				

70 Port Road		r.	ю	98 60
Northampton	9102/2019	08/04/2019		GF Wa
Northamptonshire	CT07/C0/01	CT07/10/00		10 12
NNS 6NL				Si Si

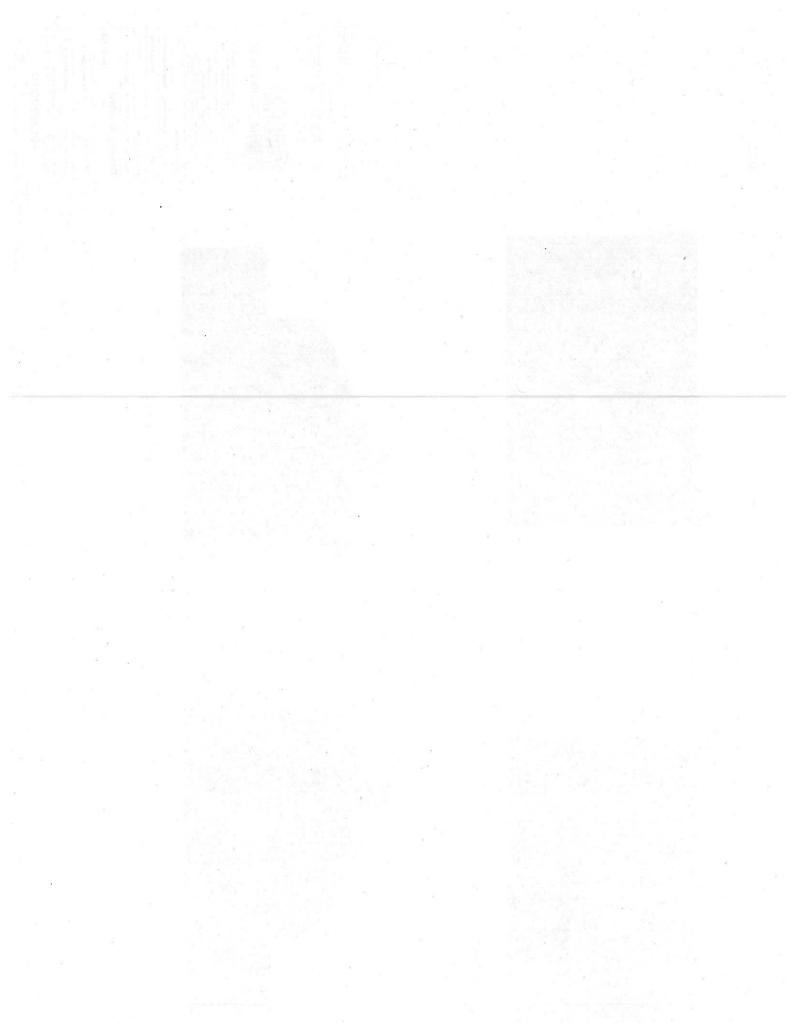
Overall Neighbour Expiry Date: 8 April 2019

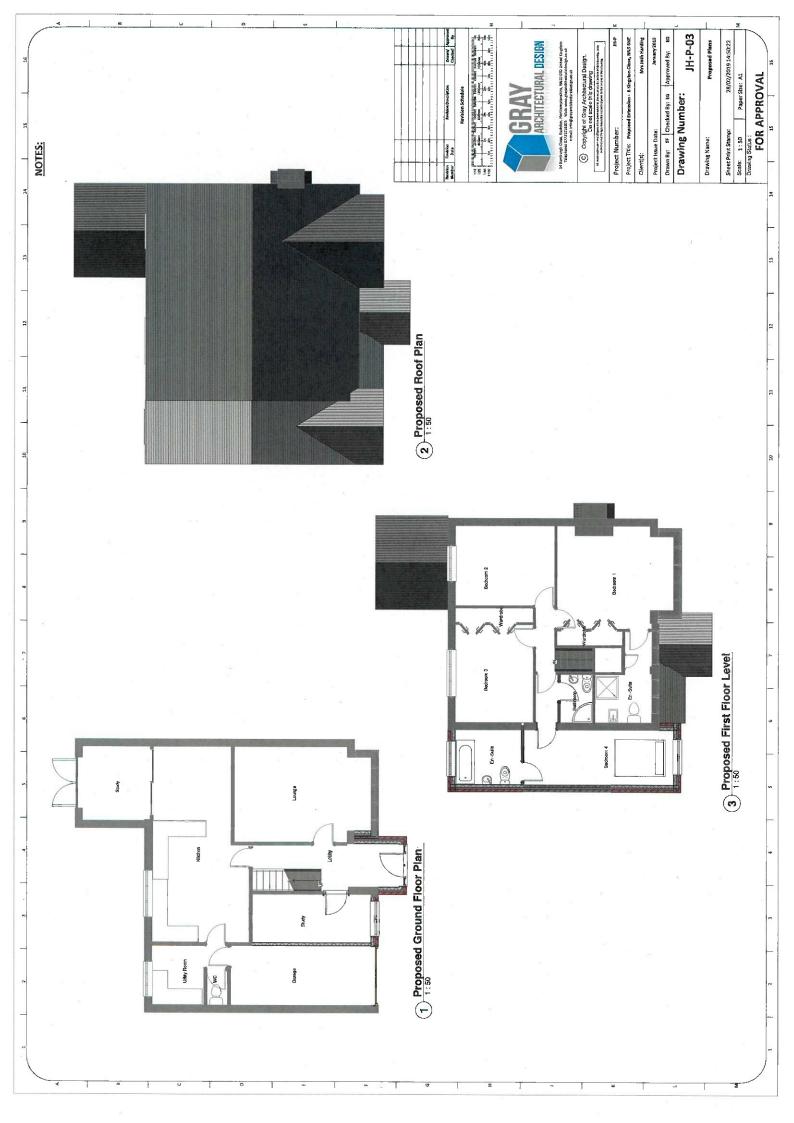
Overall Neigh Re-consults Expiry Date:



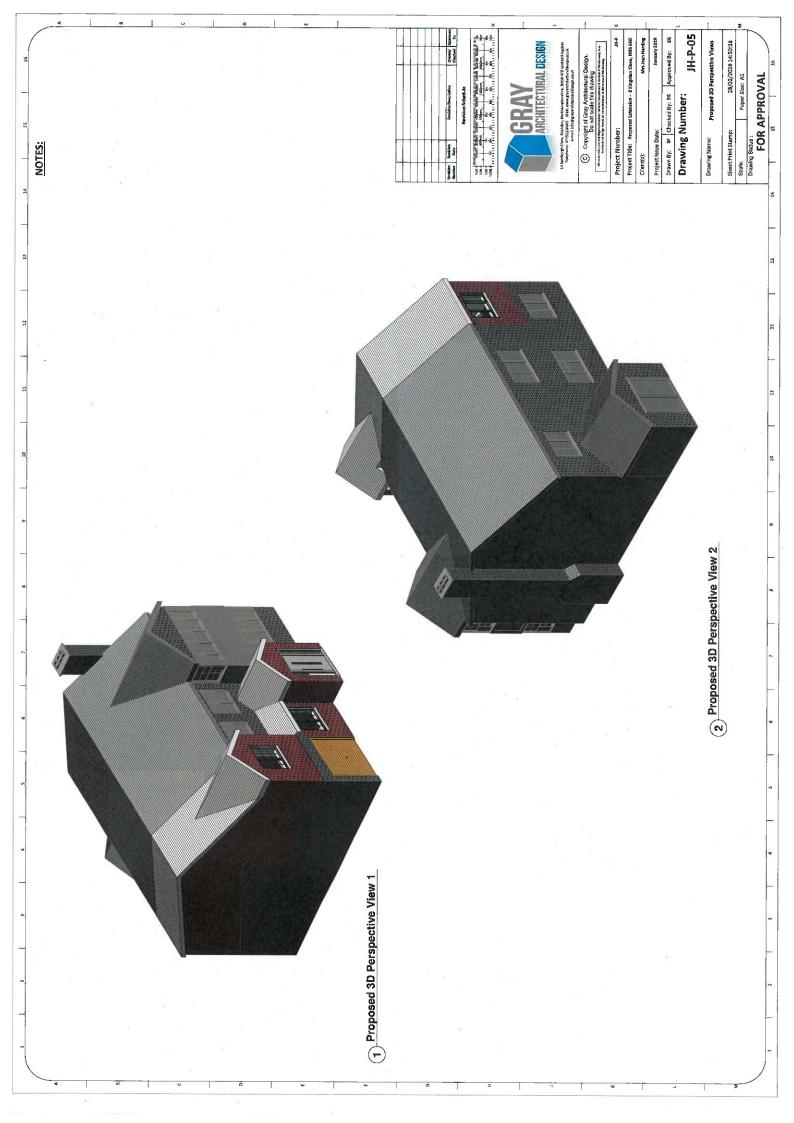


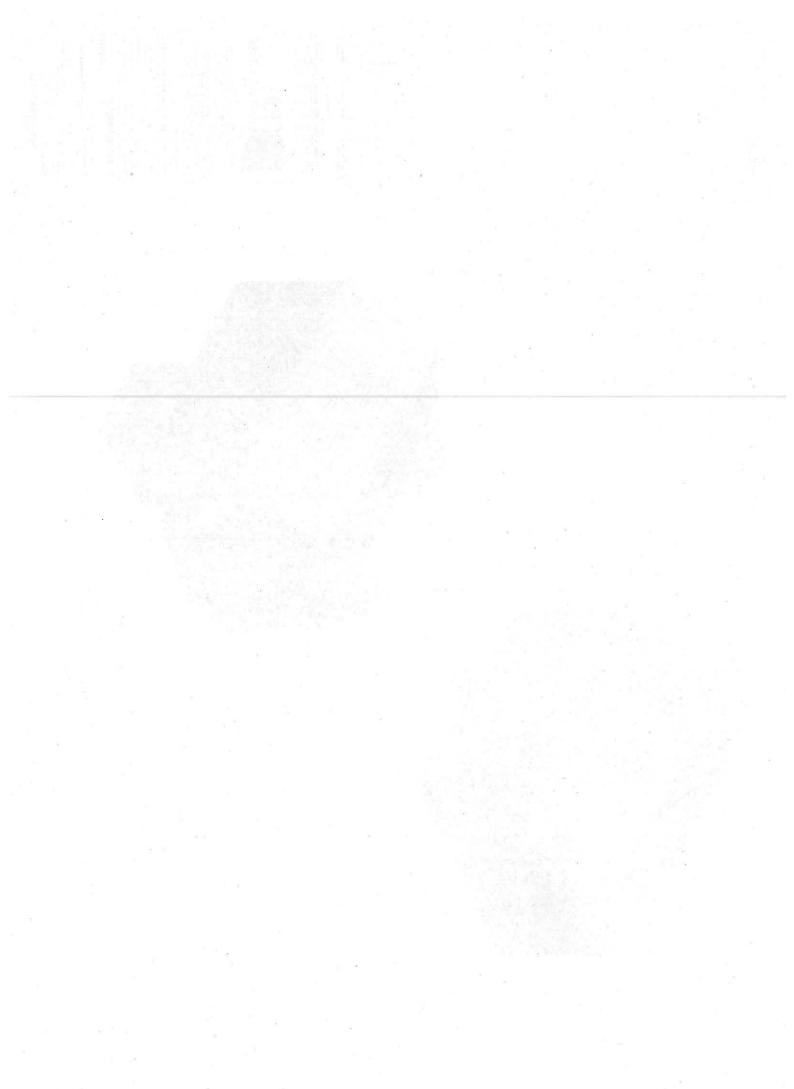


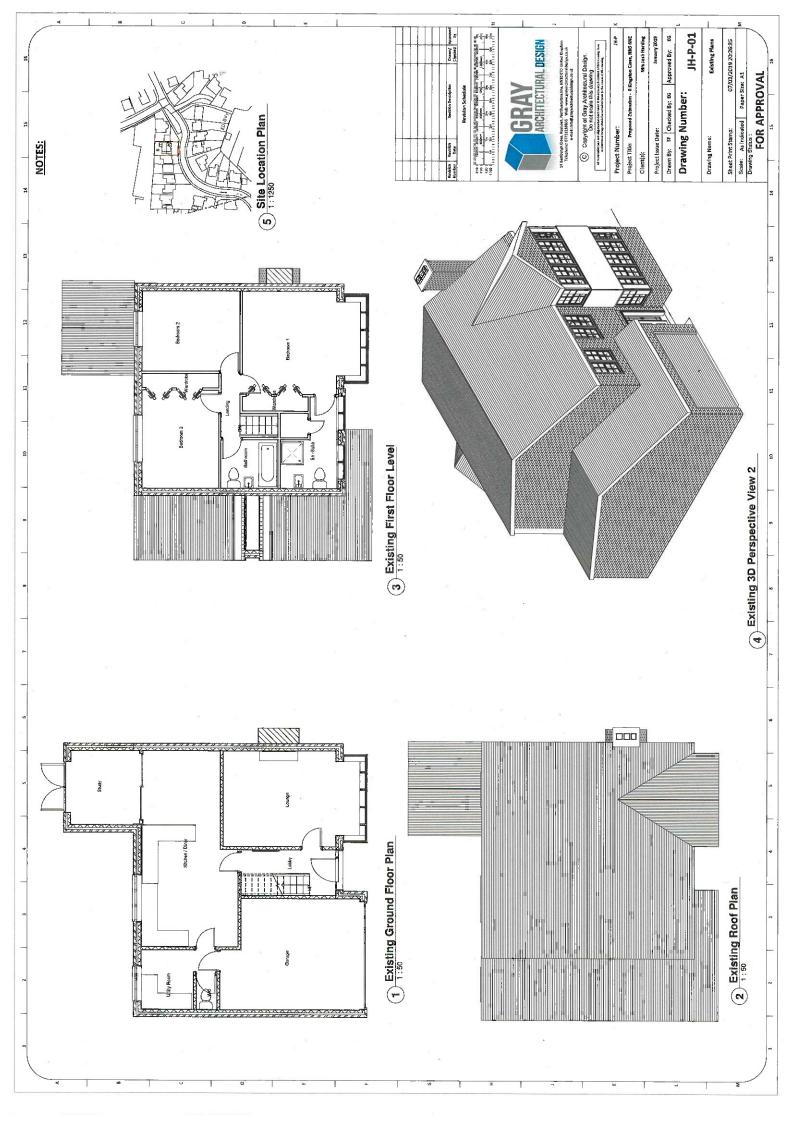














N/2019/0316

23 Westbury Close, Northampton, NN5 6AN

First floor side extension



Development Control

1st Floor, The Guildhall St. Giles Square Northampton, NN1 1DE

Tel: 0300 330 7000 / email: planning@northampton.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling.

Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address		
Number	23	
Suffix		
Property name	8	
Address line 1	Westbury Close	я
Address line 2	8	- x - x - x - x - x - x - x - x - x - x
Address line 3	8	A
Town/city	Northampton	
Postcode	NN5 6AN	
Description of site loca	tion must be completed if postcode is not known:	
Easting (x)	472867	
Northing (y)	261170	20
Description		
2. Applicant Deta	ils	9.
Title	Mr	s a s
First name	N	
Surname	KARIM	
Company name	8	0 4
Address line 1	35 TOWER SQUARE	2
Address line 2		
Address line 3		
Town/city	Northampton	*
Country		

2. Applicant Detai	ils			90
Postcode	NN5 5FH			1 m 1 m
Primary number		2		20
Secondary number				81 g6
Fax number				¥
Email address				
Are you an agent acting	g on behalf of the applicant?		⊚ Yes	
		r		
3. Agent Details	9			
Title	Mr			ā
First name	Mizanur			9 11
Surname	Rahman			
Company name	Design Board-Architectural Services	3		
Address line 1	78 Stanley Road			
Address line 2				
Address line 3				37
Town/city	Wellingborough			
Country	United Kingdom			
Postcode	NN8 1EA			
Primary number	07983478260			
Secondary number			9 16	
Fax number		is .		
Email	info@design-board.co.uk			
		* .		- 2
4. Description of	Proposed Works	8		
Please describe the pr				
FIRST FLOOR SIDE	EXTENSION			
Has the work already	been started without consent?		○ Yes	2
	2		8	
5. Materials				
	evelopment require any materials to be used in the build?	s to be used in the build (including	Yes Notype, colour and name fo	r each
material):	cription of existing and proposed materials and finisher			
Walls		8		12
Description of existi	ing materials and finishes (optional):	PLEASE REFER TO PLANS	Œ	
		Ř n		

5. Materials	
Walls	
Description of proposed materials and finishes:	PLEASE REFER TO PLANS
	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
Roof	X a s
Description of existing materials and finishes (optional):	PLEASE REFER TO PLANS
Description of proposed materials and finishes:	PLEASE REFER TO PLANS
Windows	
Description of existing materials and finishes (optional):	PLEASE REFER TO PLANS
Description of proposed materials and finishes:	PLEASE REFER TO PLANS
Are you supplying additional information on submitted plans, drawings or a des	ign and access statement?
6. Trees and Hedges	
Are there any trees or hedges on your own property or on adjoining properties a proposed development?	which are within falling distance of your Yes No
Will any trees or hedges need to be removed or pruned in order to carry out you	ur proposal? Yes No
7. Pedestrian and Vehicle Access, Roads and Rights of Way	,
Is a new or altered vehicle access proposed to or from the public highway?	☑ Yes ⊚ No
Is a new or altered pedestrian access proposed to or from the public highway?	⊋Yes
Do the proposals require any diversions, extinguishment and/or creation of pub	lic rights of way?
8. Parking	
Will the proposed works affect existing car parking arrangements?	⊚ Yes ⊚ No
9. Site Visit	
Can the site be seen from a public road, public footpath, bridleway or other pub	lic land? Yes No
If the planning authority needs to make an appointment to carry out a site visit,	whom should they contact? (Please select only one)
 The agent The applicant	
Other person	
10. Pre-application Advice	
Has assistance or prior advice been sought from the local authority about this a	pplication?
	T.Y.
11. Authority Employee/Member	

1. Authority Emp	loyee/N	lember
a) a member of staff b) an elected member c) related to a membe d) related to an electe	r of staff	
It is an important princip	ole of deci	sion-making that the process is open and transparent.
For the purposes of this informed observer, havi the Local Planning Auth	ing consid	, "related to" means related, by birth or otherwise, closely enough that a fair-minded and lered the facts, would conclude that there was bias on the part of the decision-maker in
Do any of the above sta	atements a	apply?
	= "	
12. Ownership Ce	rtificate	es and Agricultural Land Declaration
CERTIFICATE OF OWN	NERSHIP	- CERTIFICATE B - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate
certify/The applicant he date of this applica		that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before s the owner* and/or agricultural tenant** of any part of the land or building to which this application relates.
' 'owner' is a person w section 65(8) of the To	vith a free wn and C	hold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant' has the meaning given in Country Planning Act 1990
Owner/Agricultural Tena	ant	
Name of Owner/Agrid	cultural	MRS. S. PANJA
Number		23
Suffix	9	
House Name	8	
Address line 1		WESTBURY CLOSE
Address line 2	Ø	
Town/city		NORTHAMPTON
Postcode		NN5 6AN
Date notice served (DD/MM/YYYY)		09/03/2019
Person role		
The applicantThe agent		
_	Mr	
Title	IVII	
First name	A	
Surname	RAHMA	N .
Declaration date (DD/MM/YYYY)	09/03/20	019
✓ Declaration made		
13. Declaration		
I/we hereby apply for p that, to the best of my/	olanning p our knowl	ermission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm edge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.
Date (cannot be pre- application)	09/03/20	019



Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf

. Application Details	
Applicant or Agent Name:	
DESIGN BOARD ARCHITECTURAL SERVICES	s s s s s s s s s s s s s s s s s s s
Planning Portal Reference if applicable):	Local authority planning application number (if allocated):
Site Address:	
23 WESTBURY CLOSE, NORTHAMPTON, NN5 6AN	
Description of development:	
HIST FEOOR SIDE EXTENSION	
# 90 # 0	
	Sec. 6. 1. 1
	10 No. 10
oes the application relate to minor material changes to an existing plannir	ng permission (is it a Section 73 application)?
es Diagra enter the application number.	
Please enter the application number:	
yes, please go to Question 3 . If no, please continue to Question 2 .	

2. Liability for CIL
Does your development include:
a) New build floorspace (including extensions and replacement) of 100 sq ms or above?
Yes No X
b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?
Yes No X
c) None of the above
Yes X No
If you answered yes to either a), or b) please go to Question 4. If you answered yes to c), please go to 8. Declaration at the end of the form.
3. Applications for Minor Material Changes to an Existing Planning Permission
a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?
Yes No No
b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?
Yes No No
If you answered yes to either a), or b) please go to Question 4. If you answered no to both a) and b), please go to 8. Declaration at the end of the form.
4. Exemption or Relief
a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?
Yes No No
b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?
Yes No
If you answered yes to a) or b), please also complete CIL Form 2 – 'Claiming Exemption or Relief' available from www.planningportal.gov.uk/cil. You will also need to complete this form if you think you are eligible for discretionary charitable relief offered by the relevant local authority, please check their website for details.
c) Do you wish to claim a self build exemption for a whole new home?
Yes No No
If you have answered yes to c) please also complete a CIL Form SB1-1 - 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.gov.uk/cil. d) Do you wish to claim a self build exemption for a residential annex or extension?
Yes No No
If you have answered yes to d) please also complete CIL Form 'Self Build Annex or Extension Claim Form' available from www.planningportal.gov.uk/cil.
5. Reserved Matters Applications
Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?
Yes Please enter the application number:
No 🗌
If you answered yes, please go to 8. Declaration at the end of the form. If you answered no, please continue to complete the form.

	roposed New Floo										
a) D bas	oes your application in ements or any other but	volve ne ildinas i	ew resident ancillary to i	t ial floor : residentia	space (including nev al use)?	w dwellir	igs, exte	ensions, co	nversions/c	hanges of u	ise, garages,
N.B.	conversion of a single	dwellin	g house into	two or r	nore separate dwelli	ings (with	nout ex	tending th	em) is NOT l	iable for CII	If this is the
Ye.	purpose of your develo	opment	. proposai, a	nswer no	o to Question 2b an	a go stra	ignt to	tne declara	ition at Que	stion 8.	
	s, please complete the	table in	section 6c)	below, p	roviding the request	ted infori	nation,	including	the floorspa	ce relating	to new
dwe	llings, extensions, conv	ersions	, garages or	any othe	er buildings ancillary	to reside	ential us	se.	·	3	
	oes your application in	volve n	ew non-res	idential 1	floorspace?						
Ye		l. l					1.	40			
	s, please complete the oposed floorspace:	table in	section 6c)	below, u	sing the information	i provide	a tor Qi	uestion 18	on your plai	nning appli	cation form.
	elopment type		ting gross in pace (square		(ii) Gross internal flo to be lost by chang or demolition (squa metres)	e of use	floorsp (includ basem	cal gross into ace propoling change ents, and a ags) (square	sed of use, ncillary	internal flo	levelopment tres)
Mar	ket Housing (if known)	=							W		
shai	al Housing, including ed ownership housing nown)		-	5		9					9
Tota	Il residential floorspace	- the street					8 98	(95)	6	i i	
	ll non-residential rspace			9		= 10	2	3 3	¥0	8	0 0
Tota	Il floorspace				20						
7 5	xisting Buildings				0						
	ow many existing build	ings on	the site will	l be retair	ned, demolished or p	partially o	demolis	hed as par	t of the deve	elopment p	roposed?
	nber of buildings:										
b) P that mor the	ease state for each exis is to be retained and/o oths within the past thir purposes of inspecting uded here, but should b	r demo ty six m or main	lished and v onths. Any itaining plar	vhether a existing nt or mac	ill or part of each bui buildings into which hinery, or which wei	ilding ha people	s been i do not i	in use for a usually go	continuous or only go ir	period of a	it least six tently for
	Brief description of ex building/part of exis building to be retaine demolished.	ting	Gross internal area (sq ms) to be retained.	Propo	osed use of retained floorspace.	interr (sq r	ross nal area ns) to pe olished.	part of th occupi lawful use 36 previo (excluding	ouilding or ne building ed for its for 6 of the us months g temporary ssions)?	last occu lawful use the date (d	the building upied for its ? Pleaseenter dd/mm/yyyy) still in use.
1		29			p 5			Yes 🗌	No 🗌	Date: or Still in use:	
2	- 8			25			5	Yes 🗌	No 🗌	Date: or Still in use:	
3			,					Yes 🗌	No 🗌	Date: or Still in use:	
4	n	_					20	Yes 🗌	No 🗌	Date: or Still in use:	
	Total floorspace	_				U ==					2

В	rief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained flo	orspace	Gross internal area (sq ms) to be demolishe
		i juga	No.	See the s	A 3 04(6) /
				» = 1	,
		when long of			
nly	floorspace into which people do not normally go, go intermittently to inspect or maintain plant or				
	ninery, or which was granted temporary planning permission			3	
f yo Idii is [permission our development involves the conversion of an exising?				in the existing
f yo Idii s [permission our development involves the conversion of an existing?	osed will be create		s)? Mezzar	in the existing hine floorspace (sq ms)
f yo Idii	permission our development involves the conversion of an existing? No ss, how much of the gross internal floorspace proper	osed will be create		s)? Mezzar	nine floorspace
f yo Idii	permission our development involves the conversion of an existing? No ss, how much of the gross internal floorspace proper	osed will be create		s)? Mezzar	nine floorspace

7. Existing Buildings continued

8. Declaration	N _A n				
I/we confirm that the details given are correct.					
Name:					
MR. M. RAHMAN	9	×	-	ni ni	
Date (DD/MM/YYYY). Date cannot be pre-application:	:				
09/03/2019					
It is an offence for a person to knowingly or recklessly or charging authority in response to a requirement ur 110, SI 2010/948). A person guilty of an offence under	nder the Communit	ty Infrastructure	Levy Regulation	ons (2010) as ame	ended (regulation
For local authority use only					
App. No:					

	PLANNING CONSULTATION LIST
Application Reference N/2019/0316	N/2019/0316
Location	23 Westbury Close, Northampton, NN5 6AN
Proposal	First floor side extension

Name	Туре	Sent Date	Expiry Date
Duston Parish Council	Consultation	18/03/2019	08/04/2019
Cllr Tim Hadland	Consultation	18/03/2019	08/04/2019
Cllr Suresh Patel	Consultation	18/03/2019	08/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	18/03/2019	18/03/2019 08/04/2019

Overall Consults Expiry Date: 8 April 2019

Overall Re-Consults Expiry Date:

NEIGHBOURS				
Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
21 Westbury Close Northampton	18/03/2019	18/03/2019 08/04/2019		
NNS 6AN		, , , , , ,	ě.	\$
25 Westbury Close				
Northampton	18/03/2019	08/04/2019	8	
NN5 6AN				
16 Westbury Close				a
Northampton	18/03/2019	08/04/2019		
NNS 6AN		V		
18 Westbury Close		25		3
Northampton	18/03/2019	18/03/2019 08/04/2019	1	ā
NNS 6AN		3		

			**
21 Westbury Close Northampton NN5 6AN	18/03/2019	18/03/2019 08/04/2019	
25 Westbury Close Northampton NN5 6AN	18/03/2019	18/03/2019 08/04/2019	

Overall Neighbour Expiry Date: 8 April 2019

Overall Neigh Re-consults Expiry Date:

