

N/2019/0284

**17 Harefoot Close,
Northampton, NN5 6RS**

**Single storey rear and
side extension**

**Application for Planning Permission.
Town and Country Planning Act 1990**

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	17
Suffix	
Property name	
Address line 1	Harefoot Close
Address line 2	
Address line 3	
Town/city	Northampton
Postcode	NN5 6RS

Description of site location must be completed if postcode is not known:

Easting (x)	471879
Northing (y)	261899

Description

--

2. Applicant Details

Title	Mr & Mrs
First name	
Surname	Burtles
Company name	
Address line 1	17 Harefoot Close
Address line 2	
Address line 3	
Town/city	Northampton
Country	

2. Applicant Details

Postcode	NN5 6RS
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

Yes No

3. Agent Details

Title	Mr
First name	Christopher
Surname	Lane
Company name	CS2
Address line 1	17 Gillsway
Address line 2	Kingsthorpe
Address line 3	
Town/city	Northampton
Country	United Kingdom
Postcode	NN2 8HT
Primary number	07896432543
Secondary number	
Fax number	
Email	chrisjameslane@hotmail.com

4. Site Area

What is the measurement of the site area?
(numeric characters only).

308

Unit

sq.metres

5. Description of the Proposal

Please describe details of the proposed development or works including any change of use.

If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.

Proposed single storey rear and side extension.

Has the work or change of use already started?

Yes No

6. Existing Use

Please describe the current use of the site

C3 Dwelling house - Detached family home

Is the site currently vacant?

Yes No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

Yes No

Land where contamination is suspected for all or part of the site

Yes No

A proposed use that would be particularly vulnerable to the presence of contamination

Yes No

7. Materials

Does the proposed development require any materials to be used in the build?

Yes No

Please provide a description of existing and proposed materials and finishes to be used in the build (including type, colour and name for each material):

Walls

Description of existing materials and finishes (optional):

Existing buff fairfaced brickwork, laid in traditional stretcher bond with cement mortar.

Description of proposed materials and finishes:

Style to match existing buff fairfaced brickwork, laid in traditional stretcher bond with cement mortar colour matched to existing.

Windows

Description of existing materials and finishes (optional):

Brown uPVC

Description of proposed materials and finishes:

Anthracite Grey uPVC; style to match existing.

Doors

Description of existing materials and finishes (optional):

Brown uPVC.

Description of proposed materials and finishes:

Anthracite Grey uPVC; style to match existing.

Vehicle access and hard standing

Description of existing materials and finishes (optional):

Brindle block paving.

Description of proposed materials and finishes:

No alterations to existing proposed.

Lighting

Description of existing materials and finishes (optional):

Halogen wall mounted floodlighting.

Description of proposed materials and finishes:

Low voltage LED stainless steel up/downlighters to face of new extension.

Roof

Description of existing materials and finishes (optional):

Timber trussed roof construction, with clay roman style brown roof tiles and matching rounded ridge tiles.

7. Materials

Roof	
Description of proposed materials and finishes:	Heavy duty grp waterproof flat roofing system over insulated warm roof deck construction, below brick parapet up stand finished with light grey once weathered coping stones to perimeter.

Other type of material (e.g. guttering) Rainwatergoods	
Description of existing materials and finishes (optional):	Brown PVC
Description of proposed materials and finishes:	Brown PVC to match existing.

Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	dark brown stained featherboard 6ft fence to perimeter
Description of proposed materials and finishes:	No alterations to existing proposed.

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

8. Pedestrian and Vehicle Access, Roads and Rights of Way

- Is a new or altered vehicular access proposed to or from the public highway? Yes No
- Is a new or altered pedestrian access proposed to or from the public highway? Yes No
- Are there any new public roads to be provided within the site? Yes No
- Are there any new public rights of way to be provided within or adjacent to the site? Yes No
- Do the proposals require any diversions/extinguishments and/or creation of rights of way? Yes No

9. Vehicle Parking

Is vehicle parking relevant to this proposal? Yes No

10. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of your local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

11. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.) Yes No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

11. Assessment of Flood Risk

Will the proposal increase the flood risk elsewhere?

Yes No

How will surface water be disposed of?

Sustainable drainage system

Existing water course

Soakaway

Main sewer

Pond/lake

12. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

13. Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains Sewer
 Septic Tank
 Package Treatment plant
 Cess Pit
 Other
 Unknown

Are you proposing to connect to the existing drainage system?

Yes No Unknown

14. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

Yes No

Have arrangements been made for the separate storage and collection of recyclable waste?

Yes No

15. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

Yes No

16. Residential/Dwelling Units

Due to changes in the information requirements for this question that are not currently available on the system, if you need to supply details of Residential/Dwelling Units for your application please follow these steps:

1. Answer 'No' to the question below;
2. Download and complete this supplementary information template (PDF);
3. Upload it as a supporting document on this application, using the 'Supplementary information template' document type.

This will provide the local authority with the required information to validate and determine your application.

Does your proposal include the gain, loss or change of use of residential units?

Yes No

17. All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Yes No

18. Employment

Will the proposed development require the employment of any staff?

Yes No

19. Hours of Opening

Are Hours of Opening relevant to this proposal?

Yes No

20. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

n/a

Is the proposal for a waste management development?

Yes No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make it clear what information it requires on its website

21. Hazardous Substances

Does the proposal involve the use or storage of any hazardous substances?

Yes No

22. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- The agent
- The applicant
- Other person

23. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

Mr

First name

Satu

23. Pre-application Advice

Surname

Reference

Date (Must be pre-application submission)

Details of the pre-application advice received

Further to my site inspection at 2pm on Monday 25 February 2019 I write in reference to your pre application query regarding the above.

You seek advice on the planning merits of a flat roofed rear extension with a depth of about 4m and which runs across the width of the property, and partly along its eastern boundary. The height will be just over 3m and it will have a lantern light along the rear, and a domed roof light to the side.

The property is screened by a timber fence on its rear boundaries, with tall conifers along the rear (southern) boundary.

The neighbouring dwelling to the east (No16) is sited to the front of No 17 and has a rear conservatory which is in line with the rear elevation of No 17, the western elevation of this conservatory (facing No 17) is obscure glazed. The neighbouring dwelling to the west (No 18) is sited in line with No 17, and has a conservatory sited away from No 17 along its western boundary.

There are no visual impact implications when viewed from Harefoot Close as the proposal will not be publically visible except from a narrow aspect directly in front of the property when not screened by existing planting.

Given that the depth of the proposal will not greatly exceed that of the existing conservatory, that permission is only triggered by the wrap round and minor exceedance in depth, and the presence of boundary fencing I am also of the view that the living conditions of the occupiers of neighbouring dwellings would not be adversely affected.

For the above reasons, I consider that an application should receive a favourable recommendation to approve subject to conditions.

I trust that the above comments are of assistance. Please note, however, that they represent the views of an officer only and cannot prejudice any decision of the Council as local planning authority.

Yours faithfully

Satu Pardivalla
Planning Officer
Planning Service

24. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:
(a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent. Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

25. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role
 The applicant
 The agent

Title

First name

Surname

25. Ownership Certificates and Agricultural Land Declaration

Declaration date
(DD/MM/YYYY)

04/03/2019

Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-
application)

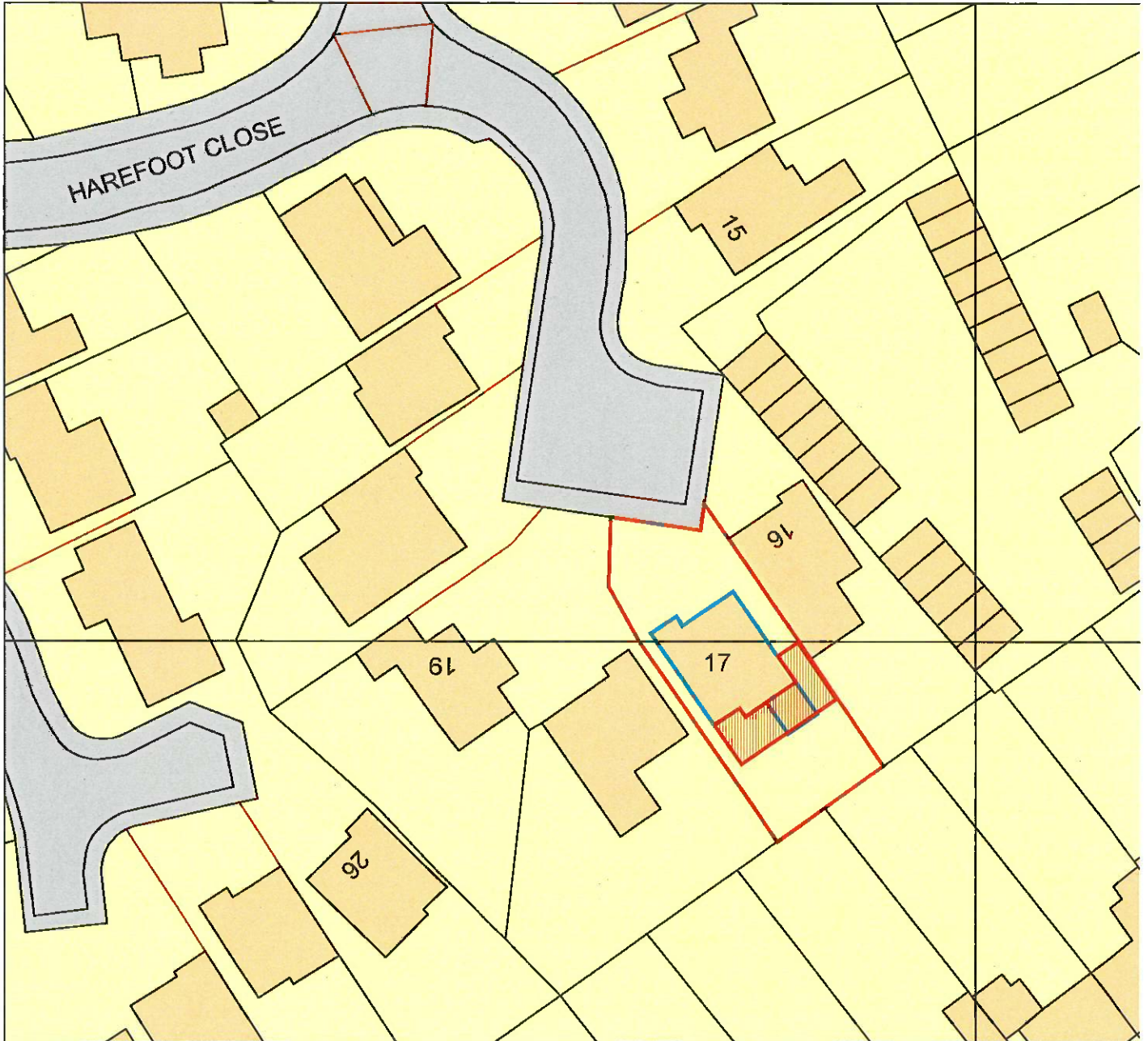
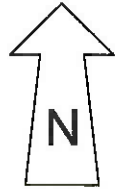
01/03/2019

KEY

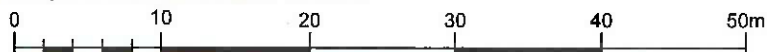
 17 HAREFOOT CLOSE (EXISTING)

 BOUNDARY

 PROPOSED DEVELOPMENT



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Scale 1:500

PROJECT: 17 HAREFOOT CLOSE, NORTHAMPTON, NN5 6RS	DRAWN: CL	SCALE: 1:500 @ A4
	DATE: 01/03/2019	REV: -
TITLE: BLOCK PLAN	DRAWING NO: 17-HRFT/BP-01	REV: -
	CHECKED: -	© 2019



This form should be saved to your device and then completed using the free Adobe Acrobat Reader application or full version of Adobe Acrobat. Many internet browsers and other applications can display PDF files, but we cannot guarantee their compatibility in regard to these forms. We specifically advise users of Apple devices not to use 'Preview' because of known issues.

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liabile Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf**

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief.

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

1. Application Details

Applicant or Agent Name:

Lee & Laura Burtles

Planning Portal Reference (if applicable):

Local authority planning application number (if allocated):

Site Address:

17 Harefoot Close, Northampton, NN5 6RS

Description of development:

Rear and side extension to existing detached dwelling house.

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes

Please enter the application number:

No

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes No

b) Proposals for one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?

Yes No

c) None of the above

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes No

b) Does this application involve a change in the amount of floorspace where one or more new dwellings (including residential annexes) are proposed, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 - 'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered yes to c) please also complete a CIL Form 7 - 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.co.uk/cil . Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes No

If you have answered yes to d) please also complete either CIL Form 8 - 'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 - 'Self Build Extension Exemption Claim Form' available from www.planningportal.co.uk/cil . Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development, in order to benefit from relief from the levy

5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes

Please enter the application number:

No

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.

6. Proposed New Floorspace

a) Does your application involve new **residential floorspace** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes

No

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new **non-residential floorspace**?

Yes

No

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential floorspace				
Total non-residential floorspace				
Total floorspace				

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

7. Existing Buildings continued

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?		When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.	
1					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/>	or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/>	or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/>	or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/>	or Still in use: <input type="checkbox"/>
Total floorspace								

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period? If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building? Yes No

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

8. Declaration

I/we confirm that the details given are correct.

Name:

Chris Lane

Date (DD/MM/YYYY). Date cannot be pre-application:

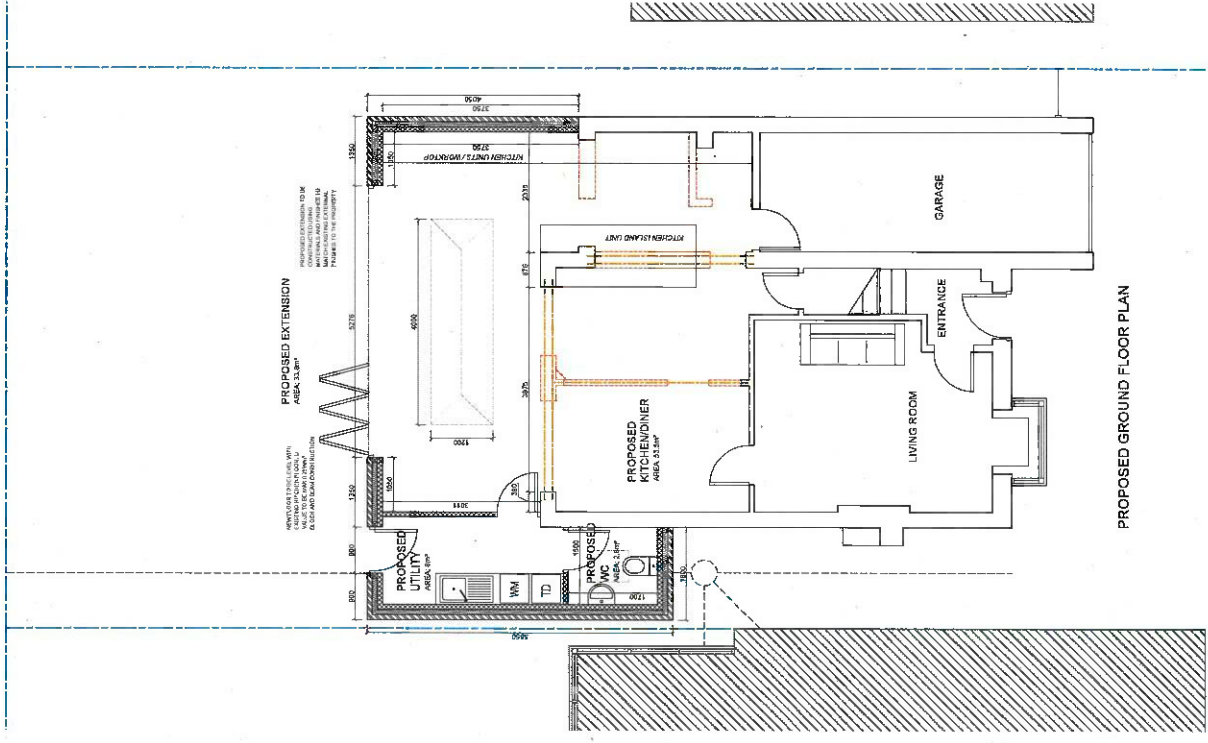
01/03/2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

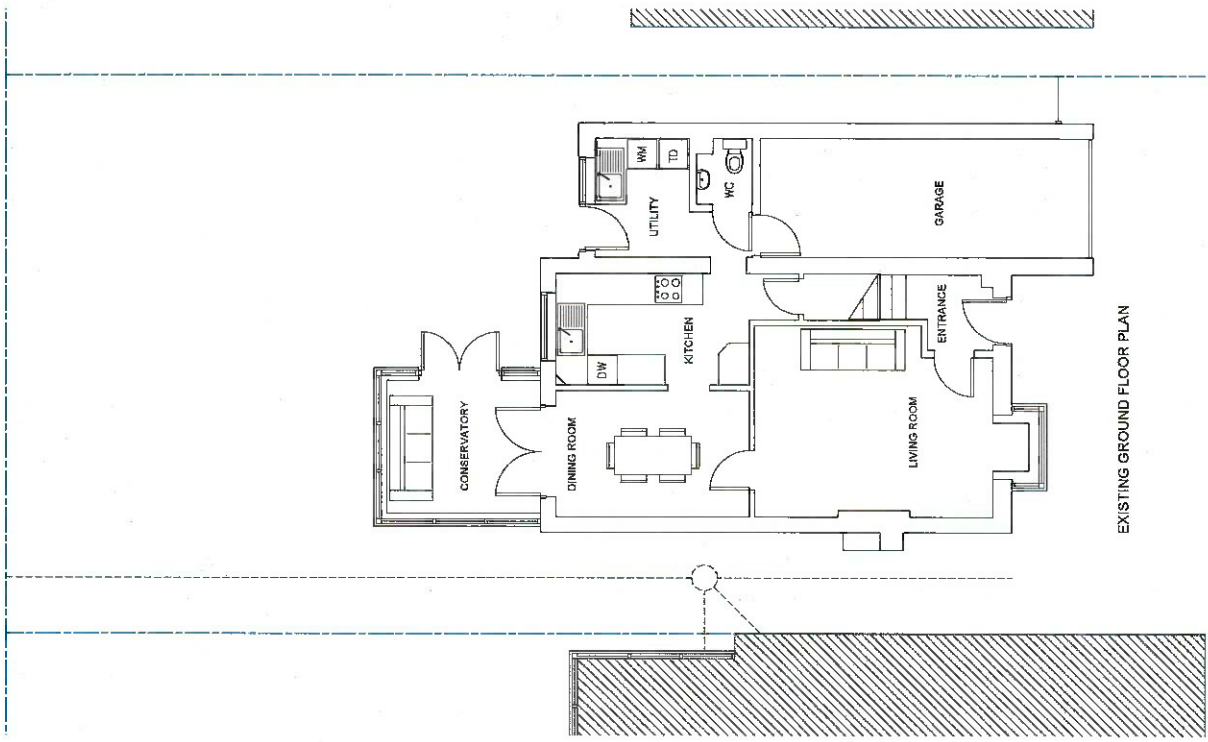
For local authority use only

App. No:

This drawing is to be used in conjunction with the planning application. It is not to be used for construction purposes. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.



PROPOSED GROUND FLOOR PLAN



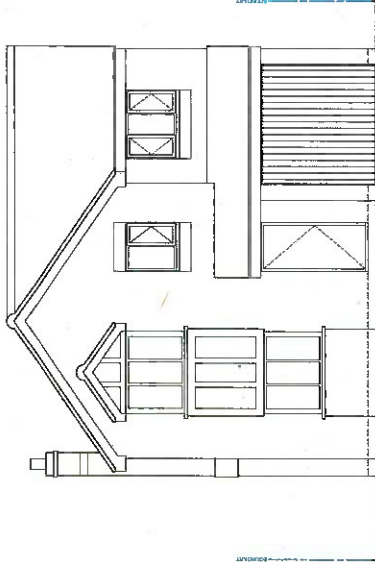
EXISTING GROUND FLOOR PLAN

REV	DESCRIPTION	DATE	INITIAL
STAGE: PLANNING			
PROJECT: 17 HAREFOOT CLOSE, NORTHAMPTON, NN5 6RS			
TITLE: FLOORPLANS			
DRAWN	CHECKED	DATE	
CL		01/03/2019	
SCALE	DRAWING NO	REV	
1:50 @ A1	17-HRF17F01		

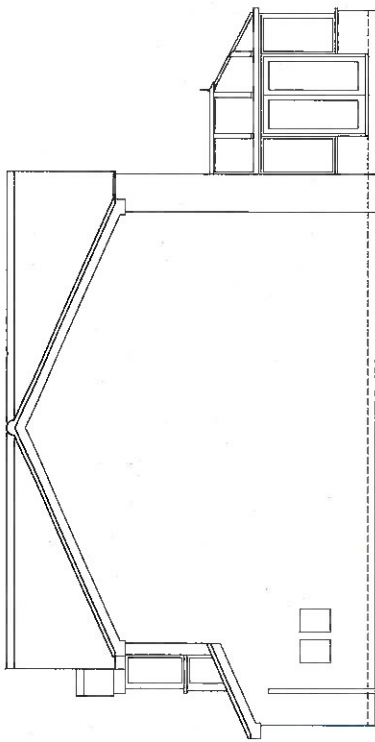
Note: Contractor must verify all dimensions and levels on site and report any discrepancies to the designer prior to commencing works or preparing site drawings.



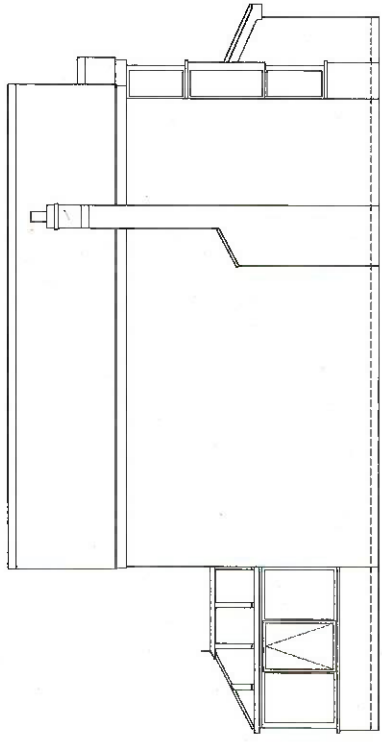
This drawing is a technical drawing of a building elevation. It is not a photograph and should not be used for construction purposes. The drawing is a line drawing and should not be used for construction purposes. The drawing is a line drawing and should not be used for construction purposes. The drawing is a line drawing and should not be used for construction purposes.



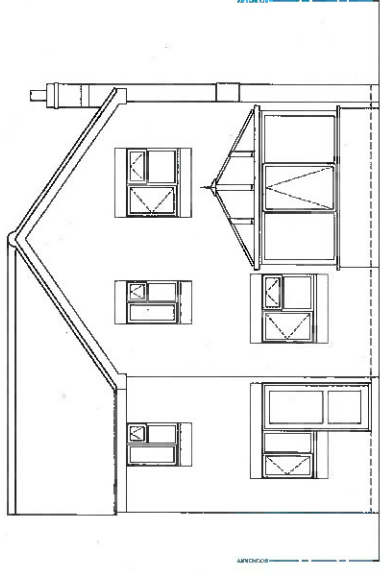
EXISTING FRONT ELEVATION



EXISTING WEST ELEVATION



EXISTING EAST ELEVATION



EXISTING REAR ELEVATION

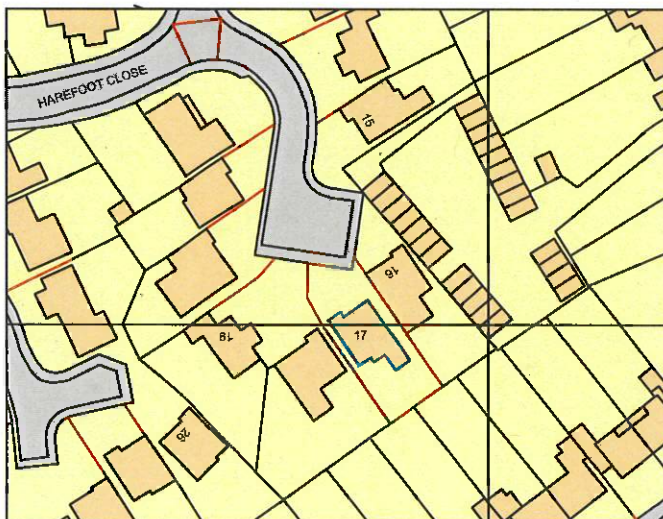
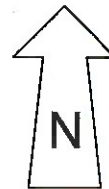


Note: Contractor must verify all dimensions and levels on site and report any discrepancies to the designer prior to commencing works or preparing site drawings.

REV.	DESCRIPTION	DATE	INITIAL
STAGE: PLANNING			
PROJECT: 17 HAREFOOT CLOSE, NORTHAMPTON, NN5 9RS			
TITLE: EXISTING ELEVATIONS			
DRAWN	CHECKED	DATE	
CL		07/03/2019	
SCALE	DRAWING NO.	REV.	
1:50 @ A1	17-HRF-EP02		

KEY

- 17 HAREFOOT CLOSE
- BOUNDARY



N/2018/1404

**Car Park Adj To, Duston
Community Centre Pendle
Road, Northampton,**

**Installation of hydraulic
car park barrier with
associated access control
post and bollards to serve
existing car park**

HEADQUARTERS

FAAC spa
Via Callani 10 40069 Zola Predosa (BO)
Tel. +39 051 811724 Fax +39 051 758518
info@faac.it - www.faacgroup.com

FAAC SUBSIDIARIES

FAAC AG
Tel. +41 52 3461721
Fax +41 52 3461723
Illnau, Switzerland
www.faac.ch

FAAC FRANCE
Tel. +33 47216700
Fax +33 47216701
Corbas, France
www.faac.fr

FAAC GMBH
Tel. +49 9654 49810
Fax +49 9654 498125
Heilbronn, Germany
www.faac.de

FAAC MIDDLE EAST
Dubai, Emirat Arabi
www.faac.ae
info@faac.ae

F.A.C. SA
Tel. +34 91 6613112
Fax +34 91 6610050
Madrid, España
www.faac.es

FAAC UK LTD.
Tel. +44 1256 319100
Fax +44 1256 318101
Basingstoke Hampshire, UK
www.faac.co.uk

FAAC AUSTRALIA PTY LTD
Tel. +61 2 7565644
Fax +61 2 87555677
Homebush - Sydney, Australia
www.faac.com.au

FAAC NORD
Tel. +33 1 68191620
Fax +33 1 69536069
Massy, France
www.faac.fr

FAAC INDIA PVT. LTD.
Tel. +91 120 3934100/4199
Fax +91 120 4212132
Noida - Delhi, India
www.faacindia.com

FAAC POLSKA SP. Z O.O.
Tel. +48 22 8141125
Fax +48 22 8142024
Warszawa, Polska
www.faac.pl

F.A.A.C. SA Delegación Cataluña
Tel. +34 93 4362000
Fax +34 93 5723994/4362225
Barcelona, España
www.faac.es

FAAC BENELUX
Tel. +32 50 320202
Fax +32 50 32024215
Brugge, Belgium
www.faac.be

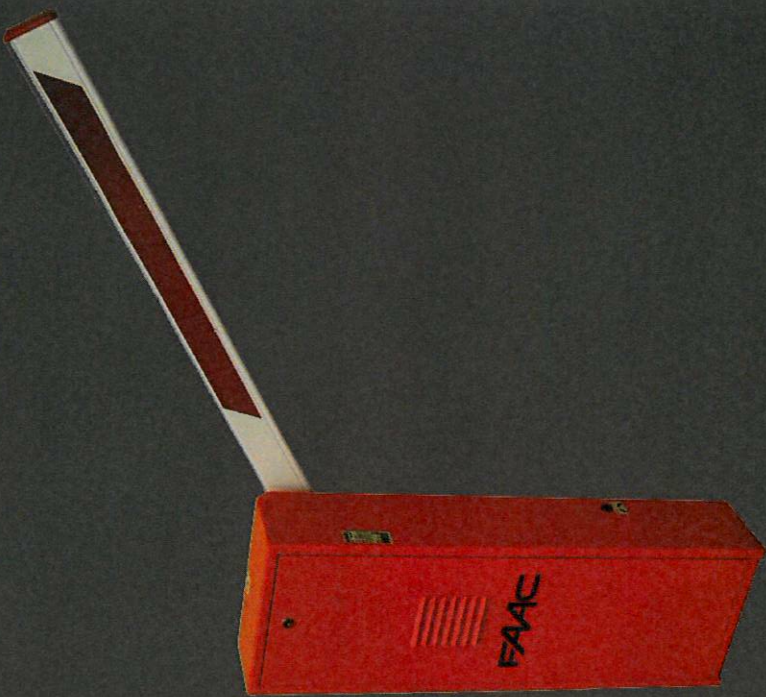
FAAC G.E.S. M.B.H.
Tel. +43 662 8533950
Fax +43 662 85339520
Wels - Siezenheim, Austria
www.faac.at

FAAC INTERNATIONAL INC.
Tel. +1 307 6351901
Fax +1 307 6328148
Cheyenne, USA
www.faacusa.com

FAAC SCANDINAVIA AB
Tel. +46 36 376860
Fax +46 36 370780
Björnsjö, Sweden
www.faac.se

FAAC SHANGHAI
Tel. +86 21 68182970
Fax +86 21 68182968
Shanghai, China
www.faac.com.cn

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640
Hydraulic barrier system for beams up
to 7m

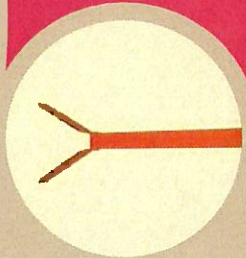
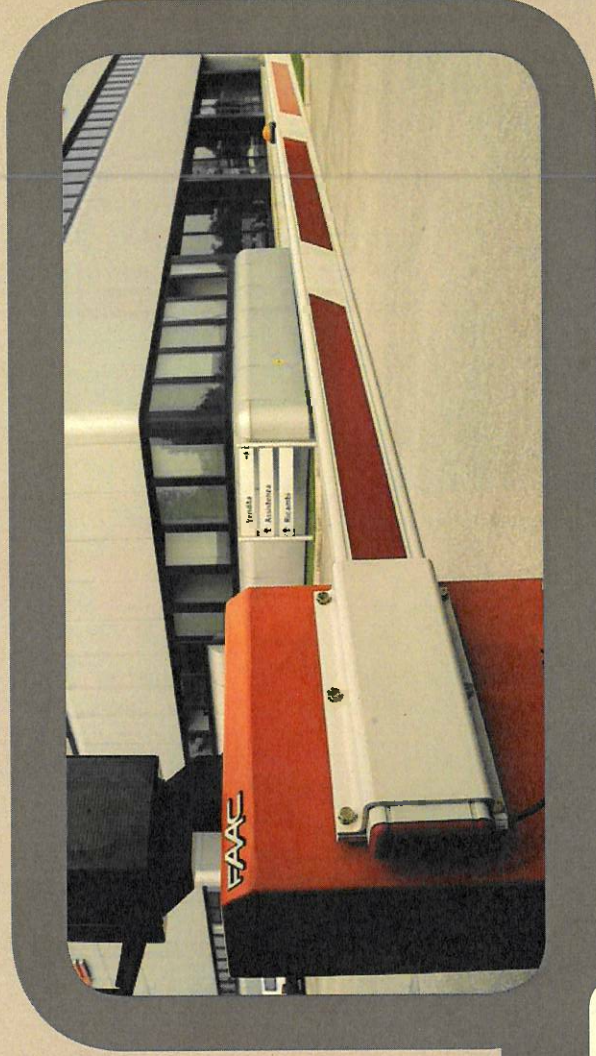
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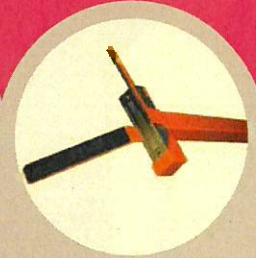
FAAC

THE 640 AUTOMATIC BARRIER SUITABLE FOR BEAMS UP TO 7M.

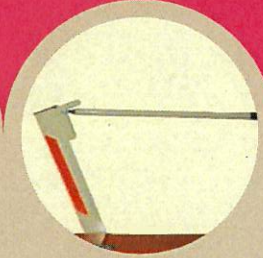
- The 640 has a duty cycle of 100% and will support a 7m beam and bottom skirt with an opening/closing speed of 4 to 8 seconds.
- The barrier has patented electronic deceleration.
- The 624 BLD control board has a built in dual loop detector.
- Also available in stainless steel.
- Top and bottom skirt available up to 5m.



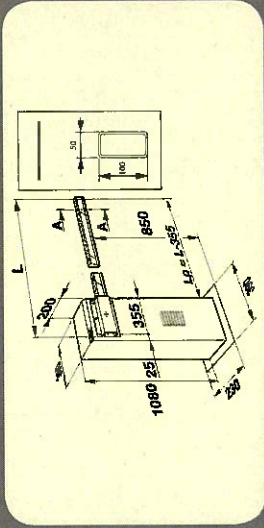
Fork support



Adjustable fork support with mag lock



Adjustable pogo stick



Dimensions of the unit.

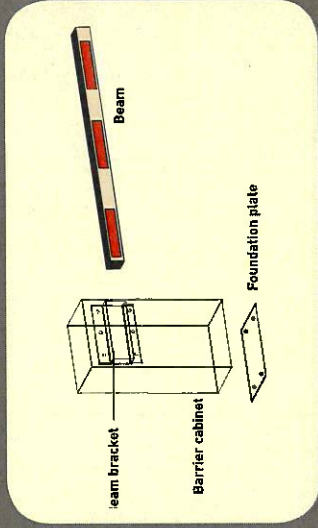


Diagram of beam mounting

TECHNICAL SPECIFICATIONS 640

640		640	
Power supply voltage	230 Vac	Operating ambient temperature	-20°C - +55°C
Electric motor	single phase, bi-directional	Weight	84 Kg
Absorbed current	1A	Type of oil	FAAC HP Oil
Motor rotation speed	1.400 rpm - 2.800 rpm	Barrier body treatment	Cathodrophosis
Pump flow rate	0,75 - 1 - 1,5 - 2 /min	Paint	Polyester RAL 2004
Thermal protection on motor winding	120°C	Protection class	IP44
Effective torque	0-470 / 0-340 / 0-250 / 0-210 Nm	Cooling	Forced air
Electronic deceleration	Adjustable with cams	Type of rectangular beam	rectangular - rectangular with skirt - rectangular with top and bottom skirt
Thrust capacitor	8µF 400V / 16µF 400V		
Dimensions	380 x 200 x 1080		



Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf**

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief.

1. Application Details

Applicant or Agent Name:

KBLW NICHOLS

Planning Portal Reference
(if applicable):

Local authority planning application number
(if allocated):

Site Address:

PENOLE ROAD
HOPPING HILL
NN5 6DT.

Description of development:

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes

Please enter the application number:

No

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes No

b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

c) None of the above

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes No

b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 - 'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.gov.uk/cil

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered yes to c) please also complete a CIL Form 7 - 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.gov.uk/cil. Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes No

If you have answered yes to d) please also complete either CIL Form 8 - 'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 - 'Self Build Extension Exemption Claim Form' available from www.planningportal.gov.uk/cil. Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development, in order to benefit from relief from the levy

5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes Please enter the application number:

No

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.

6. Proposed New Floorspace

a) Does your application involve new residential floorspace (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes No

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new non-residential floorspace?

Yes No

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential floorspace				
Total non-residential floorspace				
Total floorspace				

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?		When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
					Yes <input type="checkbox"/>	No <input type="checkbox"/>	
1					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace							

7. Existing Buildings continued

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period? If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building?

Yes No

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

8. Declaration

I/we confirm that the details given are correct.

Name:

K. NICHOLS

Date (DD/MM/YYYY). Date cannot be pre-application:

4/10/18

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:

PLANNING CONSULTATION LIST

Application Reference	N/2018/1404
Location	Car Park Adj To Duston Community Centre , Pendle Road, Northampton
Proposal	Installation of hydraulic car park barrier with associated access control post and bollards to serve existing car park

CONSULTEES

Name	Type	Sent Date	Expiry Date
Duston Parish Council	Consultation	11/03/2019	01/04/2019
Cllr Tim Hadland	Consultation	11/03/2019	01/04/2019
Cllr Suresh Patel	Consultation	11/03/2019	01/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	11/03/2019	01/04/2019
NBC Estates & Valuation	Consultation	11/03/2019	01/04/2019
NCC Highways & Access	Consultation	11/03/2019	01/04/2019

Overall Consults Expiry Date: 1 April 2019

Overall Re-Consults Expiry Date:

NEIGHBOURS

Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
20 Witton Road Northampton NN5 6TS	11/03/2019	01/04/2019		
24 Pendle Road Northampton NN5 6DT	11/03/2019	01/04/2019		
26 Pendle Road Northampton NN5 6DT	11/03/2019	01/04/2019		

32 Pendle Road Northampton NN5 6DT	11/03/2019	01/04/2019		
34 Pendle Road Northampton NN5 6DT	11/03/2019	01/04/2019		
40 Pendle Road Northampton NN5 6DT	11/03/2019	01/04/2019		
42 Pendle Road Northampton NN5 6DT	11/03/2019	01/04/2019		
Duston Community Centre Pendle Road Northampton NN5 6DT	11/03/2019	01/04/2019		

Overall Neighbour Expiry Date: 1 April 2019

Overall Neigh Re-consults Expiry Date:

Town and Country Planning (Development Management Procedure) (England) Order 2015 NOTICE UNDER ARTICLE 13 OF APPLICATION FOR PLANNING PERMISSION

(Notice 1: This notice is to be printed and served on individuals if Certificate B or C is completed)

Proposed development at:

Name or flat number

Property number or name

Street

Locality

Town

County

Postal town

Postcode

Take notice that application is being made by:

Organisation name

Applicant name Title Forename

Surname

For planning permission to:

Description of proposed development

Local Planning Authority to whom the application is being submitted:

Local Planning Authority address:

Any owner of the land or tenant who wishes to make representations about this application, should write to the council within 21 days of the date of this notice.

Signatory:

Signatory Title Forename

Surname

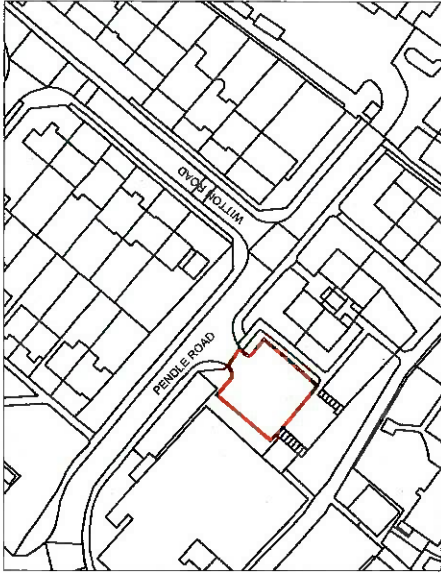
Signature

Date (dd-mm-yyyy)

Statement of owners' rights: The grant of planning permission does not affect owners' rights to retain or dispose of their property, unless there is some provision to the contrary in an agreement or lease.

Statement of agricultural tenants' rights: The grant of planning permission for non-agricultural development may affect agricultural tenants' security of tenure.

'Owner' means a person having a freehold interest or a leasehold interest the unexpired term of which is not less than seven years.
'Tenant' means a tenant of an agricultural holding any part of which is comprised in the land.



Location Plan 1:1250 @ A3

PLANNING

NOTES: DO NOT SCALE THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED PRIOR TO CONSTRUCTION.



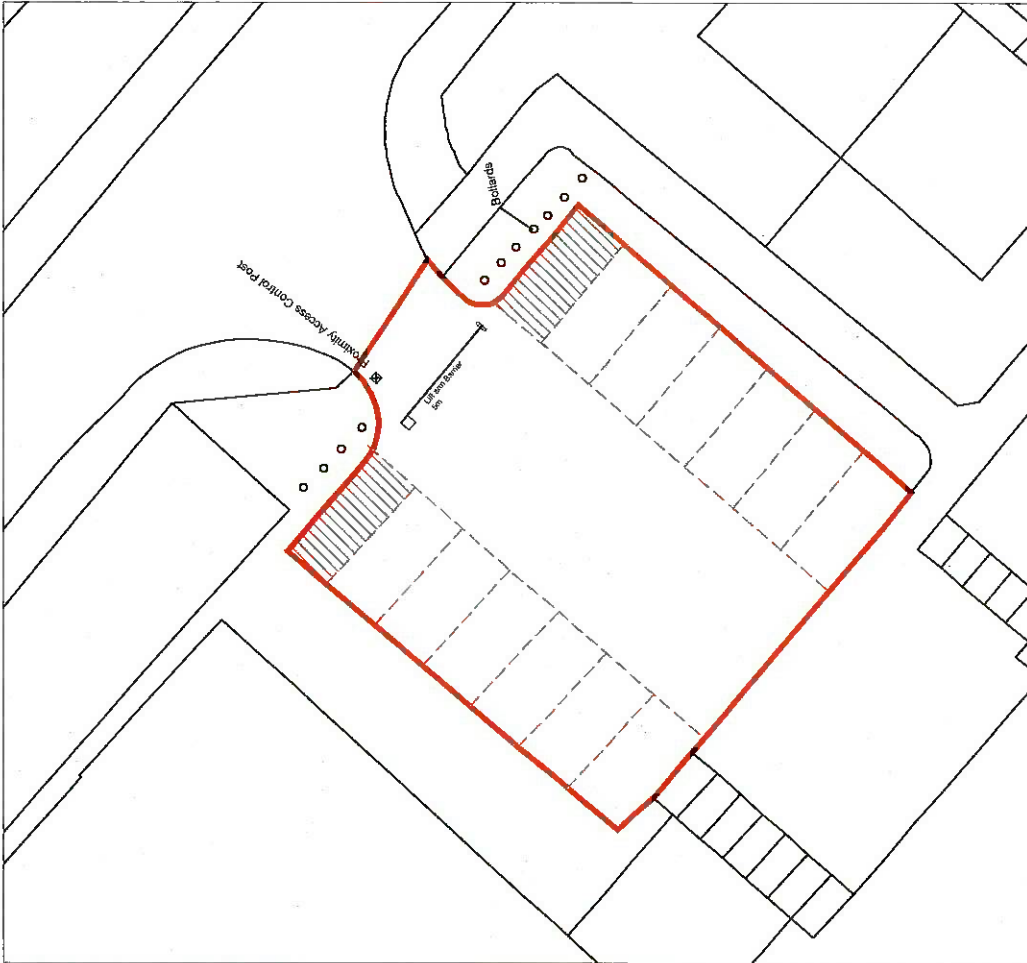
Northampton Partnership Homes
The Guildhall,
St Giles Square,
Northampton,
NN1 1DE

01604 838413 | 0300 330 7003
www.northamptonpartnershiphomes.org.uk

Project Name and Address

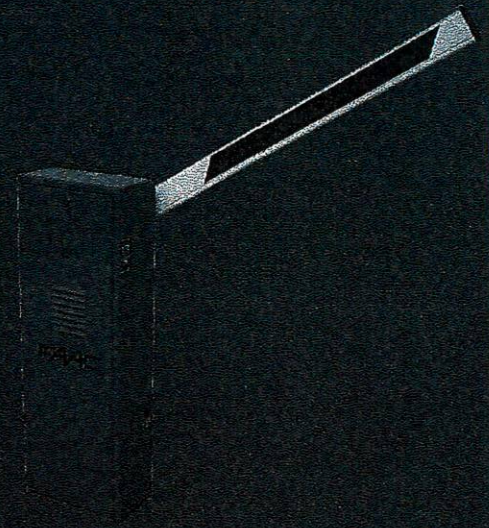
**Pendle Road
Proposed Car Parking
Barrier**

Project	car barriers	Sheet
Date	Sep 13	
Scale	as noted	



Pendle Road Site Plan 1:200 @ A3





640

Hydraulic barrier system for beams up to 7m

FAAC

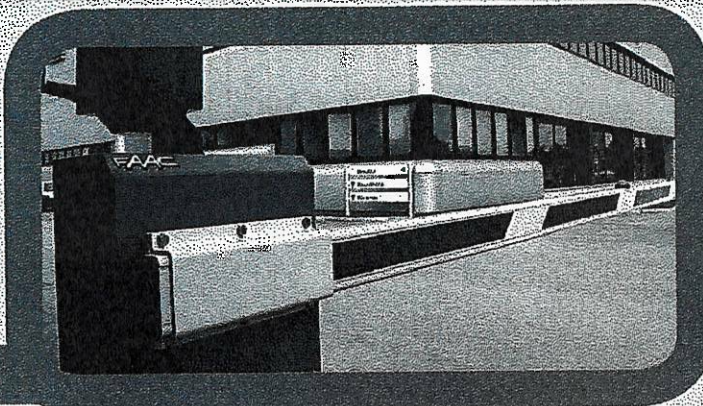
FAAC

640

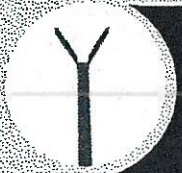
FAAC

THE BIG AUTOMATIC BARRIER SUITABLE FOR BEAMS UP TO 144

The 640 has a duty cycle of 100% and will support a 7ft beam and bottom sign with an opening/closing speed of 4 to 2 seconds.
 The barrier has patented electronic deceleration.
 The 624 BLD control console has a built in dual loop detector.
 Also available in stainless steel.
 Top and bottom sign available up to 6ft.



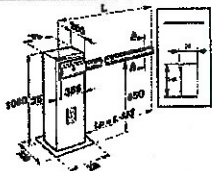
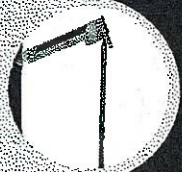
Fixed support



Adjustable (not support wall) rear body



Adjustable post bases



Dimensions of the unit

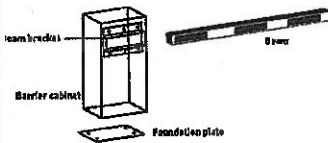
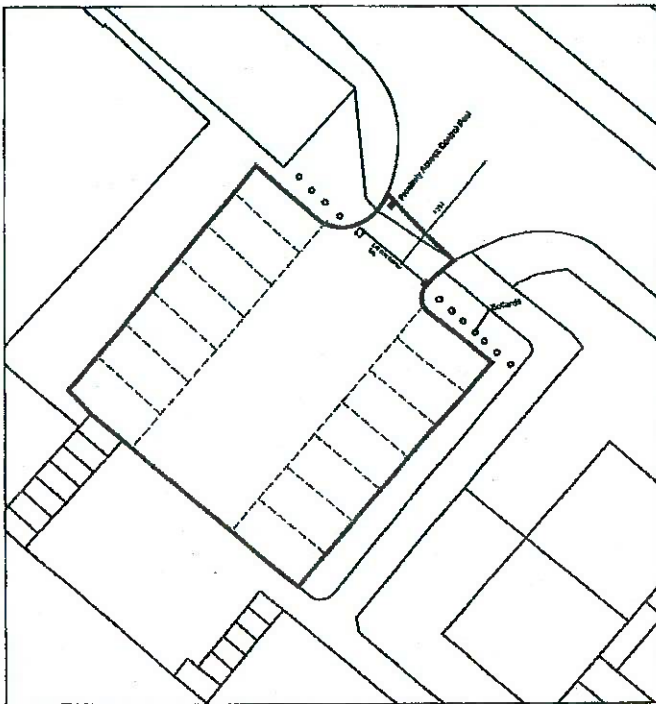


Diagram of beam mounting

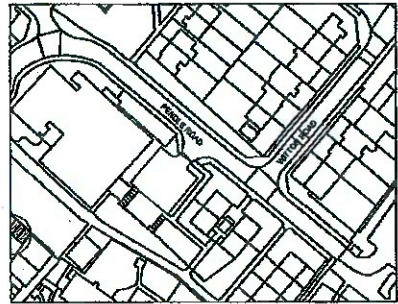
TECHNICAL SPECIFICATIONS 640

Power supply voltage	230V ac
Electric phase	single phase, 3-wire, 3-phase
Approved material	IA
Motor rotation speed	1.400 rpm - 22A3 rpm
Motor frequency	0.15 - 1.5 - 2 Lines
Term of production or model	10/00
Production length	9.400 / 0.300 / 0.250 / 0.210 Km
Technical data file no.	A/Special 640/640/640
Manufacturer	n. 6.4007 - 16/6.4007
Dimensions	3814 290 x 1103

Operating and storage temperature	-30°C - +55°C
Weight	64 Kg
Type of oil	FAAC HP Oil
Barrier body treatment	Galvanized
Paint	Polyurethane RAL 7004
Protection class	IP44
Coating	Painted on
Type of rectangular beam	rectangular - hollow section with steel, rectangle galvanized up to 6 bottom 14.4



Pendle Road Site Plan 1: 200 @ A3



Location Plan 1:1250 @ A3

PLANNING

NOTES: DRAWING IS FOR INFORMATION ONLY.
ALL DIMENSIONS TO BE CHECKED PRIOR TO CONSTRUCTION.



Northampton Partnership Homes
The Guildhall,
St Giles Square,
Northampton,
NN1 1DE

☎ 01604 838413 | 0300 330 7003
www.northamptonpartnershiphomes.org.uk

Project Name and Address

**Pendle Road
Proposed Car Parking
Barrier**

Project	Sheet
car barriers	
Scale	
Scale 1:50	
Drawn	as noted

N/2019/0324

**Garage 1 Lock Up
Garages , Pendle Road,
Northampton**

**Demolition of 16no
domestic lock up garages
and erection of 3no
dwellings and provision
of parking area**

**Application for Planning Permission.
Town and Country Planning Act 1990**

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text"/>
Suffix	<input type="text"/>
Property name	Lock up garages and land adjacent to 22 Darwin Walk
Address line 1	Pendle Road
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	Northampton
Postcode	NN5 6LR

Description of site location must be completed if postcode is not known:

Easting (x)	472225
Northing (y)	262032

Description

2. Applicant Details

Title	<input type="text"/>
First name	<input type="text"/>
Surname	Northampton Partnership Homes
Company name	c/o Baily Garner LLP
Address line 1	c/o Baily Garner LLP
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text"/>
Country	<input type="text"/>

2. Applicant Details

Postcode	<input type="text"/>
Primary number	<input type="text"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email address	<input type="text"/>

Are you an agent acting on behalf of the applicant?

Yes No

3. Agent Details

Title	<input type="text" value="Miss"/>
First name	<input type="text" value="Isobel"/>
Surname	<input type="text" value="Barrett"/>
Company name	<input type="text" value="Baily Garner LLP"/>
Address line 1	<input type="text" value="55 Charlotte Street"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Birmingham"/>
Country	<input type="text"/>
Postcode	<input type="text" value="B3 1PX"/>
Primary number	<input type="text" value="01212362236"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email	<input type="text" value="isobel.barrett@bailygarner.co.uk"/>

4. Site Area

What is the measurement of the site area?
(numeric characters only).

Unit

5. Description of the Proposal

Please describe details of the proposed development or works including any change of use.

If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.

Has the work or change of use already started?

Yes No

6. Existing Use

Please describe the current use of the site

Lock up domestic garages.

Is the site currently vacant?

Yes No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

Yes No

Land where contamination is suspected for all or part of the site

Yes No

A proposed use that would be particularly vulnerable to the presence of contamination

Yes No

7. Materials

Does the proposed development require any materials to be used in the build?

Yes No

Please provide a description of existing and proposed materials and finishes to be used in the build (including type, colour and name for each material):

Walls

Description of existing materials and finishes (optional):

Brick

Description of proposed materials and finishes:

Brick to match existing

Roof

Description of existing materials and finishes (optional):

Corrugated metal

Description of proposed materials and finishes:

Pitched tiled roof to match existing neighboring properties

Windows

Description of existing materials and finishes (optional):

N/A

Description of proposed materials and finishes:

White uPVC windows

Doors

Description of existing materials and finishes (optional):

Metal garage doors

Description of proposed materials and finishes:

White uPVC doors

Boundary treatments (e.g. fences, walls)

Description of existing materials and finishes (optional):

Timber fencing

Description of proposed materials and finishes:

1.8m high timber close-boarded fencing

Vehicle access and hard standing

Description of existing materials and finishes (optional):

Concrete

Description of proposed materials and finishes:

Asphalt, permeable paving

7. Materials

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

If Yes, please state references for the plans, drawings and/or design and access statement

Please refer to drawings:

- (P) 01 Site and Location Plan
- (P) 02 Existing Site Plan
- (P) 03 Proposed Site Plan
- (P) 04 Proposed Floor Plans
- (P) 05 Proposed Elevations
- (P) 06 Proposed Street Elevations
- Design and Access Statement

8. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Are there any new public roads to be provided within the site? Yes No

Are there any new public rights of way to be provided within or adjacent to the site? Yes No

Do the proposals require any diversions/extinguishments and/or creation of rights of way? Yes No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

- Drawings:
 (P) 02 - Existing Site Plan
 Design and Access Statement

9. Vehicle Parking

Is vehicle parking relevant to this proposal? Yes No

Please provide information on the existing and proposed number of on-site parking spaces

Type of vehicle	Existing number of spaces	Total proposed (including spaces retained)	Difference in spaces
Cars	0	16	16

10. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of your local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

11. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.) Yes No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No

11. Assessment of Flood Risk

How will surface water be disposed of?

- Sustainable drainage system
- Existing water course
- Soakaway
- Main sewer
- Pond/lake

12. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species:

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

b) Designated sites, important habitats or other biodiversity features:

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

c) Features of geological conservation importance:

- Yes, on the development site
- Yes, on land adjacent to or near the proposed development
- No

13. Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains Sewer
- Septic Tank
- Package Treatment plant
- Cess Pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

If Yes, please include the details of the existing system on the application drawings. Please state the plan(s)/drawing(s) references.

Delete as necessary:

Please see the Asset search map by Anglian Water for information on site drainage and services.
Please see the Topographical Survey for locations of drainage and services across the site.

14. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

If Yes, please provide details:

Please see drawing (P) 03 Proposed Site Plan for refuse bin locations.

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

14. Waste Storage and Collection

If Yes, please provide details:

Please see drawing (P) 03 Proposed Site Plan for refuse bin locations. One refuse bin to be allocated for recyclable waste.

15. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

Yes No

16. Residential/Dwelling Units

Due to changes in the information requirements for this question that are not currently available on the system, if you need to supply details of Residential/Dwelling Units for your application please follow these steps:

1. Answer 'No' to the question below;
2. Download and complete this supplementary information template (PDF);
3. Upload it as a supporting document on this application, using the 'Supplementary information template' document type.

This will provide the local authority with the required information to validate and determine your application.

Does your proposal include the gain, loss or change of use of residential units?

Yes No

17. All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Yes No

18. Employment

Will the proposed development require the employment of any staff?

Yes No

19. Hours of Opening

Are Hours of Opening relevant to this proposal?

Yes No

20. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

N/A

Is the proposal for a waste management development?

Yes No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make it clear what information it requires on its website

21. Hazardous Substances

Does the proposal involve the use or storage of any hazardous substances?

Yes No

22. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- The agent
- The applicant
- Other person

23. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

First name

Surname

Reference

Date (Must be pre-application submission)

Details of the pre-application advice received

24. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

25. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE B - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates.

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant' has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

Name of Owner/Agricultural Tenant	Northampton Borough Council
Number	
Suffix	
House Name	Guildhall
Address line 1	15 St Giles' Street
Address line 2	
Town/city	Northampton
Postcode	NN1 1DE
Date notice served (DD/MM/YYYY)	07/02/2019

25. Ownership Certificates and Agricultural Land Declaration

Name of Owner/Agricultural Tenant	Northamptonshire County Council
Number	
Suffix	
House Name	
Address line 1	One Angel Square
Address line 2	Angel Street
Town/city	Northampton
Postcode	NN1 1ED
Date notice served (DD/MM/YYYY)	07/02/2019

Person role

- The applicant
 The agent

Title	Miss
First name	
Surname	Barrett
Declaration date (DD/MM/YYYY)	07/02/2019

Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf**

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief..

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

1. Application Details

Applicant or Agent Name:

Planning Portal Reference (if applicable):

Local authority planning application number (if allocated):

Site Address:

Lock up garages and land adjacent to 22 Darwin Walk.
Duston
Northampton
NN5 6LR

Description of development:

Erection of 3 new build units and demolition of 16 domestic lock up garages.

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes

Please enter the application number:

No

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes No

b) Proposals for one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?

Yes No

c) None of the above

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes No

b) Does this application involve a change in the amount of floorspace where one or more new dwellings (including residential annexes) are proposed, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 - 'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered yes to c) please also complete a CIL Form 7- 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.co.uk/cil . Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes No

If you have answered yes to d) please also complete either CIL Form 8 - 'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 - 'Self Build Extension Exemption Claim Form' available from www.planningportal.co.uk/cil . Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development , in order to benefit from relief from the levy

5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes

Please enter the application number:

No

If you answered yes, please go to 8. Declaration at the end of the form.

If you answered no, please continue to complete the form.

6. Proposed New Floorspace

a) Does your application involve new residential floorspace (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes No

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new non-residential floorspace?

Yes No

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)	0	0	234	234
Social Housing, including shared ownership housing (if known)	0	0	234	234
Total residential floorspace	0	0	234	234
Total non-residential floorspace	219	219	0	-219
Total floorspace	219	219	234	15

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

7. Existing Buildings continued

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?		When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
					Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
1	GARAGE 1			58	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2	GARAGE 2			82	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3	GARAGE 3			79	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace				219			

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period? If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building? Yes No

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

8. Declaration

I/we confirm that the details given are correct.

Name:

I.Barrett on behalf of Baily Garner

Date (DD/MM/YYYY). Date cannot be pre-application:

07/02/2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:

Community Infrastructure Levy (CIL) - Form 2: Claiming Exemption or Relief

This form should be used to claim charitable relief, social housing relief, and/or exceptional circumstances relief prior to the commencement of development. Any relief must be granted, AND a Commencement (of development) Notice sent to, and received by, the Charging/Collecting Authority prior to the commencement of your development. Otherwise the full levy charge will be payable.

Where liability for the levy is shared, this form should be completed by each party wishing to seek exemption or relief from the levy.

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including claiming exemption or relief.

Privacy Notice

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Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent user of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority in agreement with the declaration section.

Upon receipt of this form and any subsequent information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

Section A: Claiming Relief - General Information

Details of Development

Planning Permission / Notice of Chargeable Development Reference:

Site address:

Lock up garages and land adjacent to 22 Darwin Walk.
Duston
Northampton
NN5 6LR

Description of development:

Erection of 2 new build units and demolition of 16 domestic lock up garages.

Claimant Name and Address

Title: First name:

Last name:

Company (optional):

Position:

Company registration no: (where applicable)

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

Telephone number Country code: National number: Extension number:

Email address (optional):

Agent Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

Telephone number Country code: National number: Extension number:

Email address (optional):

Charity Details

Charity registration no: (where applicable)

If claimant represents a charity exempt or excepted from registration, please state grounds:

HMRC tax registration no: (where applicable)

If claimant represents a trust of which all the beneficiaries are charities or a unit trust scheme in which all the unit holders are charities, please state what form this takes (eg a Common Investment Fund)

I wish to apply for: Charitable relief (Go to Section A1) Exceptional circumstances relief (Go to Section A2) Social housing relief (Go to Section A3) Discretionary social housing relief (Go to Section A4)

Some areas of relief are at the discretion of the Charging Authority, such as discretionary charitable relief, exceptional circumstances relief and discretionary social housing relief.

Section A1: Charitable Relief

I wish to claim: (tick 1 box)

A mandatory exemption for using this chargeable development wholly or mainly for charitable purposes

Discretionary charity relief for holding the greater part of this CIL chargeable development as an investment from which the profits will be applied for charitable purposes.

Before selecting this option please check whether your Charging Authority has a policy for granting discretionary charitable relief in its area.

Supporting Information For All Charitable Relief

What are your charity's charitable purposes?

What is the intended use of the development and in what proportions?

How (if at all) does your charity fulfil the criteria in the charging authority's discretionary relief policy? (Maximum 100 words)

What is your apportioned CIL liability for this chargeable development? Please use the apportionment assessment at Annex A to calculate this.

Please provide a breakdown of all the activities of your organisation, including any goods or services it trades in and what these are:

Please complete the relevant declaration below and provide the supporting information:

Declaration - Mandatory Relief

I wish to be granted mandatory relief for my portion of the CIL liability.

I declare that all the below points apply:

- As indicated in Section B above, I am a person or trust established for charitable purposes only (a "charity") or I am a trust of which all the beneficiaries are charities or a unit trust scheme in which all the unit holders are charities; and
- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date planning permission first permits the chargeable development; and
- I do not own this interest jointly with a party which is not a charitable institution; and
- the whole or main part of the chargeable development will be used for charitable purposes (whether of myself, or of myself and other charities); and
- a qualifying charity will occupy or control the portion of the chargeable development used for charitable purposes; and
- I have completed an apportionment assessment to determine the extent of my CIL liability and will submit a revised apportionment assessment where I make a material disposition of any of the relevant land prior to commencement of development; and

I understand:

- That where mandatory CIL charitable relief cannot apply due to it constituting a State aid, and the charging authority operates such a policy, my claim may be considered for discretionary relief under regulation 45 of the Community Infrastructure Levy Regulations (2010) as amended;
- The meaning of a "disqualifying event" for CIL charitable relief and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days.
- that my claim for relief will lapse where development commences on this chargeable development prior to the collecting authority informing me of its decision
- that my claim for relief will lapse where a commencement notice is not submitted prior to commencement of development of the chargeable development to which this relief applies

Name - Claimant:

Date (DD/MM/YYYY):

Or name - Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Declaration - Discretionary Relief

I wish to be considered for discretionary relief for my portion of the CIL liability.

I declare that all the below points apply:

- As indicated in Section B above, I am a person or trust established for charitable purposes only (a "charity") or I am a trust of which all the beneficiaries are charities or a unit trust scheme in which all the unit holders are charities; and
- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; and
- I do not own this interest jointly with a party which is not a charitable institution; and
- the whole or the greater part of the chargeable development will be held by myself or by myself and other qualifying charities as an investment from which the profits will be applied for charitable purposes (whether of myself, or of myself and other charities); and
- the portion of the chargeable development held in the manner described above will not be used for ineligible trading activities; and
- I am satisfied that I meet the criteria advertised by the charging authority for giving discretionary relief; and
- I have completed an apportionment assessment to determine the extent of my CIL liability and will submit a revised apportionment assessment where I make a material disposition of any of the relevant land prior to commencement of development; and

I understand:

- The meaning of a "disqualifying event" for CIL charitable relief and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days.
- that my claim for relief will lapse where development commences on this chargeable development prior to the collecting authority informing me of its decision
- that my claim for relief will lapse where a commencement notice is not submitted prior to commencement of development of the chargeable development to which this relief applies

Name - Claimant:

Date (DD/MM/YYYY):

Or name - Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Section A2: Exceptional circumstances relief

Charging Authority Details

Before completing this form, please check your Charging Authority has decided to accept claims for exceptional circumstances relief in its area

Please state charging authority for chargeable development:

Supporting Information for Exceptional Circumstances Relief

Please provide a summary of why you wish to be considered for exceptional circumstances relief and how you meet the terms of the Charging Authority's exceptional circumstances policy (maximum 500 words):

If relevant, please provide a breakdown of all the activities of your organisation, including any goods or services it trades in and what these are:

Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your claim. Failure to submit all information will result in your application not being accepted:

- An assessment carried out by an independent person of the economic viability of the chargeable development;
- An explanation of why, in the opinion of the claimant, payment of the chargeable amount would have an unacceptable impact on the economic viability of that development. This additional explanation should not be included where the summary provides all the necessary information; and
- Where there is more than one material interest in the relevant land, an apportionment assessment.

Declaration

I wish to be considered for discretionary exceptional circumstances relief for my portion of the CIL liability.

I declare that all the below points apply:

- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; and
- A planning obligation under section 106 of the TCPA 1990 has been entered into in respect of the planning permission referred to at Section A: General Information; and
- The charging authority has approved my choice of independent person to conduct the assessments required to accompany this claim; and
- Copies of this completed form and the accompanying documentation will be sent to any other owners of the relevant land; and

I understand:

- The meaning of a "disqualifying event" for CIL exceptional circumstances relief and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days.
- That my claim for relief will lapse where development commences on this chargeable development prior to the charging authority informing me of its decision.
- That it is an offence under sections 2 and 3 of the Fraud Act 2006, to commit fraud by false representation, or to fail to disclose information when under a legal duty to do so, and that should this be found to be the case for this declaration or the supporting information, I could face criminal proceedings.

Name - Claimant:

Date (DD/MM/YYYY):

Or name - Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a charging or collecting authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/ 948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Section A3: Social housing relief (mandatory)

Supporting Information for Social Housing Relief

Please indicate the type of social housing you intend to build and where on the site this will be located. A site map indicating the intended location of the social housing in the chargeable development **MUST** be attached. Please note that this must include any qualifying communal areas

Please refer to drawing (P) 03 - Proposed Site Plan

Does your organisation operate separate management accounts for public service and commercial activities? Please supply evidence.

Northampton Partnership Homes operate a management account for public services only and do not undertake any commercial activities

Declaration

I wish to claim social housing relief on the chargeable development.

I declare that all the below points apply:

- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; and
- I have assumed liability to pay the CIL charge on this chargeable development; and
- This chargeable development will include qualifying dwellings as described in the CIL regulations relating to social housing relief; and
- The degree to which this chargeable development consists of qualifying dwellings is as specified in the relief assessment and I will submit a revised relief assessment with supporting evidence where this changes prior to commencement of development; and

I understand:

- The meaning of a "disqualifying event" for CIL social housing relief and that where a disqualifying event occurs, I must inform the collecting authority within 14 days and will be liable to pay some or all of the relief I have claimed.
- That where there is a disposal of any of the land on which these qualifying dwellings will be situated to another person, I must inform the collecting authority as soon as practicable after this occurs.
- That my claim for relief will lapse where:
 - development commences on this chargeable development prior to the collecting authority informing me of its decision;
 - a commencement notice is not submitted prior to commencement of development of the chargeable development to which this relief applies;
 - my assumption of liability is withdrawn or otherwise ceases to have effect, or is transferred to another person.

Name - Claimant:

Date (DD/MM/YYYY):

Or name - Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

Section A4: Social housing relief (discretionary)

Supporting Information for Social Housing Relief (discretionary)

Please indicate the type of social housing you intend to build and where on the site this will be located. A site map indicating the intended location of the social housing in the chargeable development **MUST** be attached. Please note that this must include any qualifying communal areas

Is this development in receipt of any other public subsidy? (for example, funding from the Homes and Communities Agency, or contributions from the local authority towards the provision of affordable housing). If yes, please provide an estimate of how much the subsidy is worth. (This information is required in order to assess the State Aid implications of any discretionary relief that can be offered).

Declaration

I wish to claim social housing relief on the chargeable development.

I declare that all the below points apply:

- I am an owner of a freehold interest in the relevant land or a leasehold interest in the relevant land of 7 years or more from the date of planning permission first permits the chargeable development; and
- I have assumed liability to pay the CIL charge on this chargeable development; and
- This chargeable development will include qualifying dwellings as described in the CIL regulations relating to discretionary social housing relief; and
- The degree to which this chargeable development consists of qualifying dwellings is as specified in the relief assessment and I will submit a revised relief assessment with supporting evidence where this changes prior to commencement of development; and

I understand:

- The meaning of a "disqualifying event" for CIL social housing relief and that where a disqualifying event occurs, I must inform the collecting authority within 14 days and will be liable to pay some or all of the relief I have claimed.
- That where there is a disposal of any of the land on which these qualifying dwellings will be situated to another person, I must inform the collecting authority as soon as practicable after this occurs.
- That my claim for relief will lapse where:
 - development commences on this chargeable development prior to the collecting authority informing me of its decision;
 - a commencement notice is not submitted prior to commencement of development of the chargeable development to which this relief applies;
 - my assumption of liability is withdrawn or otherwise ceases to have effect, or is transferred to another person.

Name - Claimant:

Date (DD/MM/YYYY):

Or Name- Agent:

Date (DD/MM/YYYY):

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

ANNEX A: APPORTIONMENT ASSESSMENT

Please complete the table below, including the assessment of the percentage of the value of the interest in the relevant land owned by the claimant:

Name of Owner	Type of Interest	Value of Interest (%)
TOTAL VALUE OF ALL MATERIAL INTERESTS (MUST EQUAL 100%):		

This information will be used to calculate the amount of CIL relief that may be granted on this development. The collecting authority may choose to carry out its own assessment for these purposes.

ANNEX B: RELIEF ASSESSMENT (SOCIAL HOUSING)

Gross internal area of chargeable development including relevant communal development (sq m):

Gross internal area of relevant communal development (sq m):

Gross internal area of qualifying dwellings to which the relevant communal development relates (sq m):

Gross internal floorspace on relevant land in continuous lawful use for 6 of the last 36 months that is:

a) To be demolished (sq m):

b) Subject to change of use as part of the development (sq m)

Please attach a site plan indicating the position of qualifying dwellings and qualifying communal development.

Please note that the collecting authority may choose to accept the above assessment or carry out its own assessment to determine the relief to be granted.

PLANNING CONSULTATION LIST

Application Reference	N/2019/0324
Location	Garage 1 Lock Up Garages , Pendle Road, Northampton
Proposal	Demolition of 16no domestic lock up garages and erection of 3no dwellings and provision of parking area

CONSULTEES

Name	Type	Sent Date	Expiry Date
NBC Arboricultural Officer	Consultation	18/03/2019	08/04/2019
NBC Public Protection	Consultation	18/03/2019	08/04/2019
NBC Estates & Valuation	Consultation	18/03/2019	08/04/2019
Northamptonshire Police	Consultation	18/03/2019	08/04/2019
Duston Parish Council	Consultation	18/03/2019	08/04/2019
Clr Tim Hadland	Consultation	18/03/2019	08/04/2019
Clr Suresh Patel	Consultation	18/03/2019	08/04/2019
NCC Highways & Access	Consultation	18/03/2019	08/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	18/03/2019	08/04/2019

Overall Consults Expiry Date: 8 April 2019

Overall Re-Consults Expiry Date:

NEIGHBOURS

Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
1 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
10 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		

11 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
11 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
12 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
13 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
13 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
14 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
15 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
16 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
17 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
17 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
18 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
19 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		

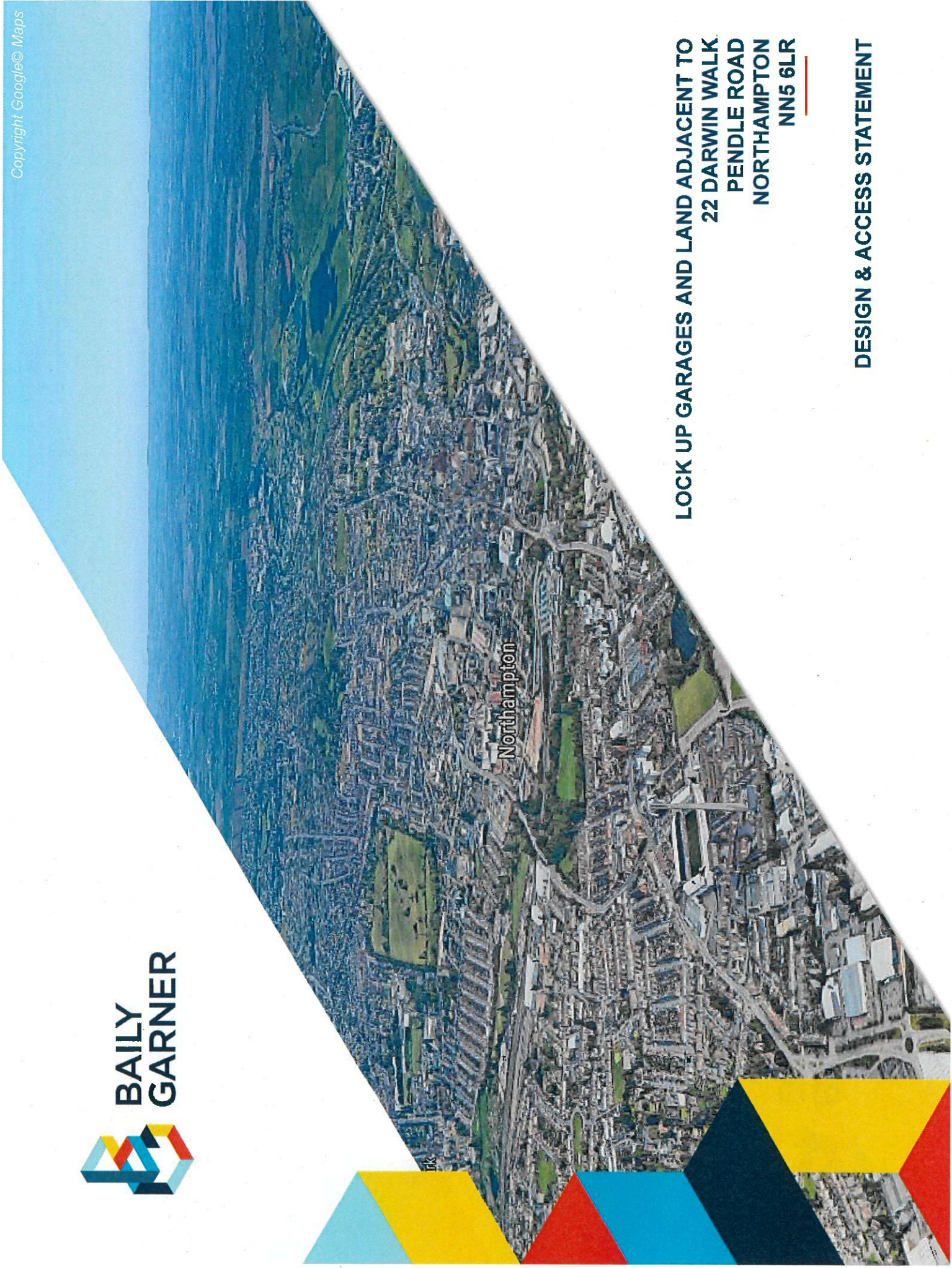
19 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
20 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
21 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
21 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
22 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
23 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
23 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
24 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
25 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
25 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
26 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
27 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		

27 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
28 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
29 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
3 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
31 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
33 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
35 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
37 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
39 Reedham Close Northampton NN5 6TT	18/03/2019	08/04/2019		
5 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
6 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
6 Newton Road Northampton NN5 6TL	18/03/2019	08/04/2019		

7 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
7 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
8 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
8 Newton Road Northampton NN5 6TL	18/03/2019	08/04/2019		
9 Darwin Walk Northampton NN5 6LR	18/03/2019	08/04/2019		
9 Pendle Road Northampton NN5 6LS	18/03/2019	08/04/2019		
Duston Library Pendle Road Northampton NN5 6DT	18/03/2019	08/04/2019		

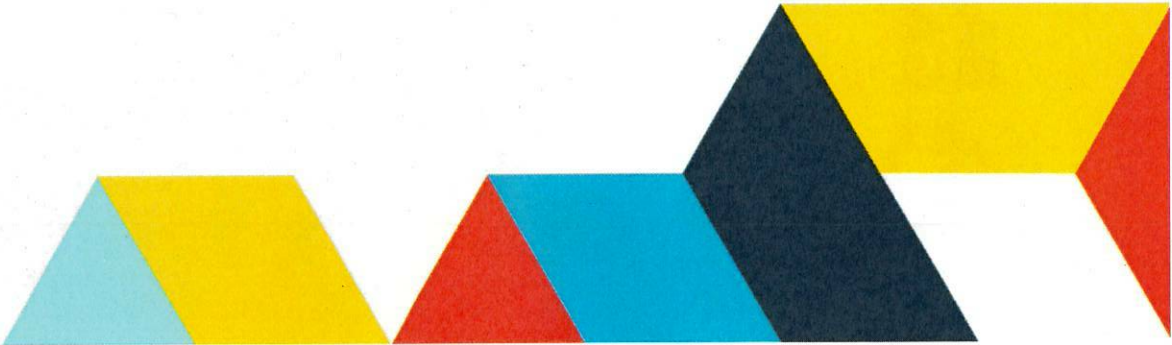
Overall Neighbour Expiry Date: 8 April 2019

Overall Neigh Re-consults Expiry Date:



**LOCK UP GARAGES AND LAND ADJACENT TO
22 DARWIN WALK
PENDLE ROAD
NORTHAMPTON
NN5 6LR**

DESIGN & ACCESS STATEMENT



Prepared by:

Contact:
Baily Garner LLP
55 Charlotte Street,
Birmingham, B3 1PX
T. 0121 236 2236

www.bailygarner.co.uk

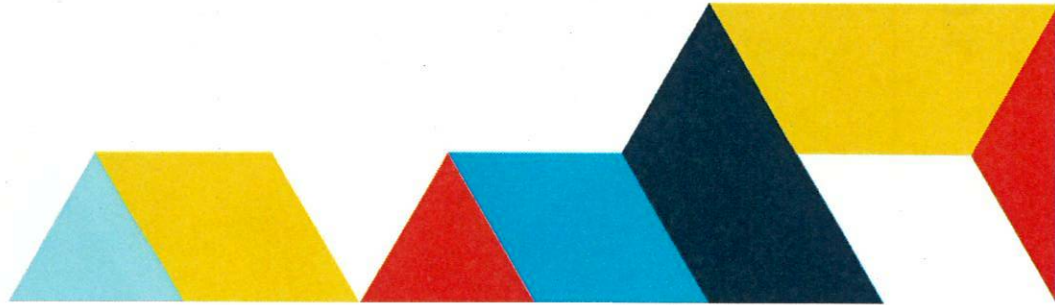
Authorised For Issue: ML

Date: 04/02/2019

Lock up Garages and Land
Adjacent to
22 Darwin Walk
Pendle Road
Northampton
NN5 6LR

CONTENTS

1.0	Introduction
2.0	Understanding the Context – Desktop Study
3.0	Understanding the Site – Constraints & Opportunities
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5.1	Layout – Proposed Plans
5.2	Layout – Proposed Elevations & Section
6.0	Scale, Appearance & Materials
7.0	Proposed Street Elevations
8.0	Landscaping & Site Security
9.0	Access Statement
10.0	Sustainability
11.0	Highways & Parking
12.0	Summary & Conclusions
13.0	Appendices



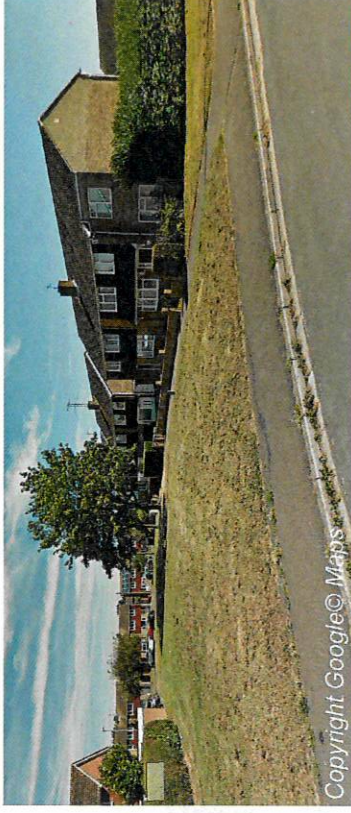
1.0 INTRODUCTION

- I. This Planning Statement has been prepared to explain the design process and determinants which have shaped the proposed redevelopment of the site at Pendle Road. It sets out the analysis of the site, the consultation with the local planning authority and the design development which has led to the application. It has been prepared by the designers, Baily Garner, acting as consultant Architects for Northampton Partnership Homes, the owners of the site and applicants for the development. It is prepared in support of a detailed Planning Application to Northampton Borough Council.
- II. The format of the design and access statement follows the CABE Guidance Document Design and Access Statements – How to Write, Read and Use Them.
- III. This report responds to the local requirements of Northampton Borough Council for Planning Applications to be accompanied by a Design and Access Statement or Planning Statement which explains:
 - a) the design principles and concepts that have been applied to the development
 - b) how issues relating to the access to the development have been dealt with
- IV. This Statement therefore:
- V. Provides a review of the site's immediate and wider context in terms of its physical, local and economic characteristics and relevant planning policy and guidance.
- VI. Provides a rationale for the scheme's design.
- VII. Explains and illustrates the design principles in terms of the development's layout, scale, landscape and visual appearance.
- VIII. Explains how the development will meet the local authority's planning design objectives.
- IX. And demonstrates how the proposals meet access for all criteria.

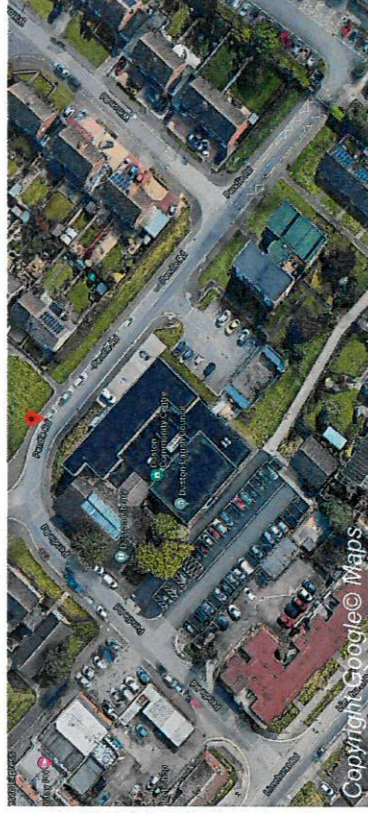


2.0 UNDERSTANDING THE CONTEXT – DESKTOP STUDY

- I. The site is located within the town of Northampton and is situated on Pendle Road.
- II. The site can be accessed by pedestrians from Pendle Road. Vehicular access is provided off the Witton Road and Limehurst Road, where there is also emergency vehicle access.
- III. The site is currently used for lock-up domestic garages. The site is also bordered by timber fencing and brick walls.
- IV. The surrounding area is predominantly residential and the buildings consist of 2 and 3 storey properties.
- V. There is good accessibility to public transport and the site location is within walking distance of bus stops. There is a primary school within 5 minutes walk as well as a community centre and high street shops.
- VI. The site is adjacent to neighbouring properties.
- VII. The site is around 15 minutes drive to Northampton City Centre, or 25 minutes via public transport. The site has good links to the M1, providing access to London in just over one hour.



Existing Site



Existing Site

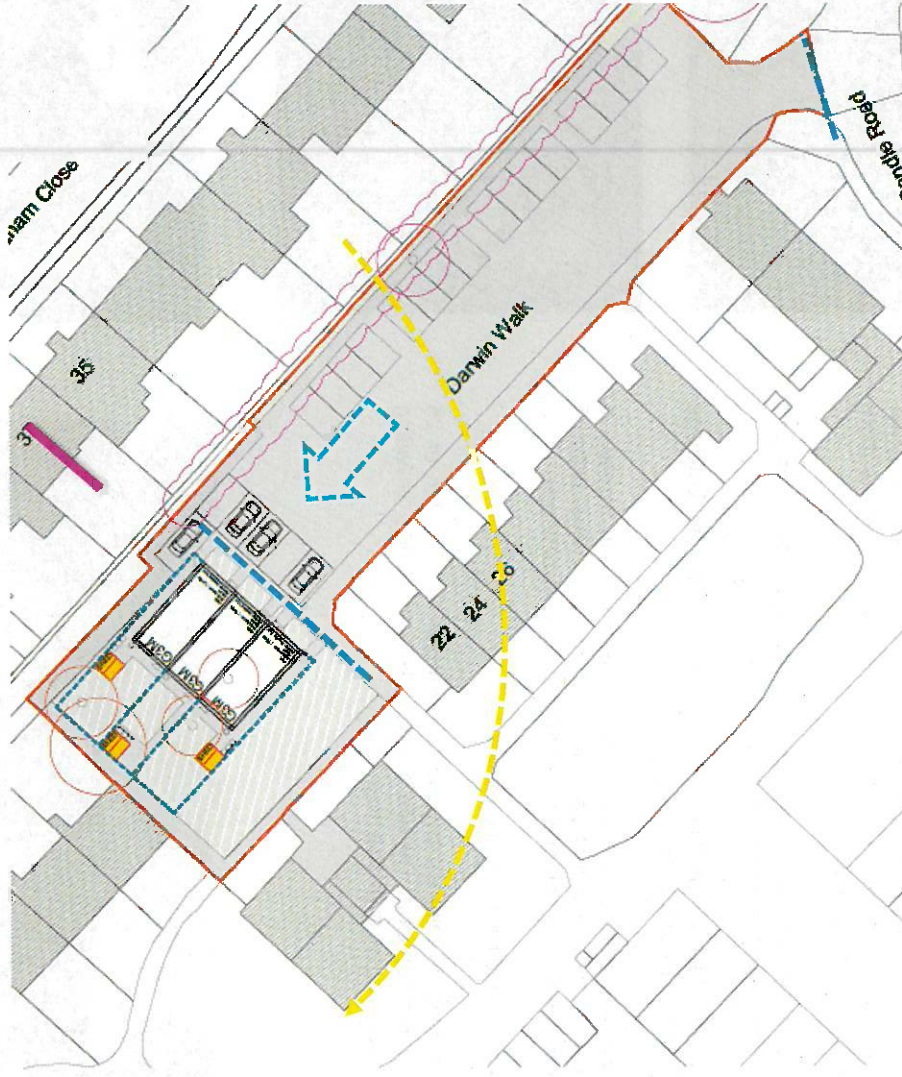


Existing Site



Existing Site

3.0 UNDERSTANDING THE SITE – CONSTRAINTS & OPPORTUNITIES



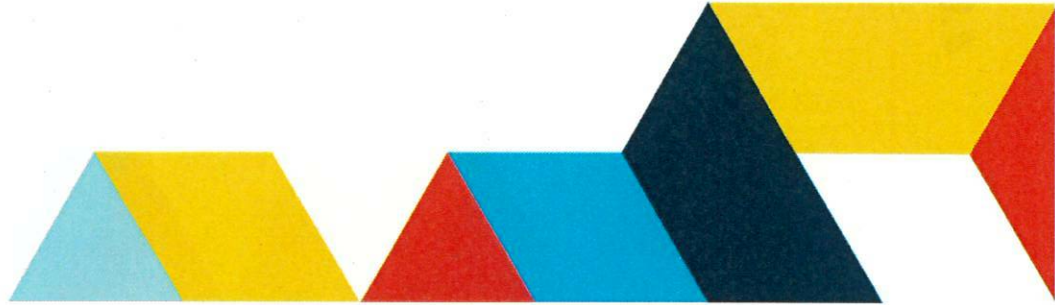
Constraints and Opportunities Diagram - NTS

- Sun Path Diagram
- Possible site access
- Privacy Issues
- Existing frontage line



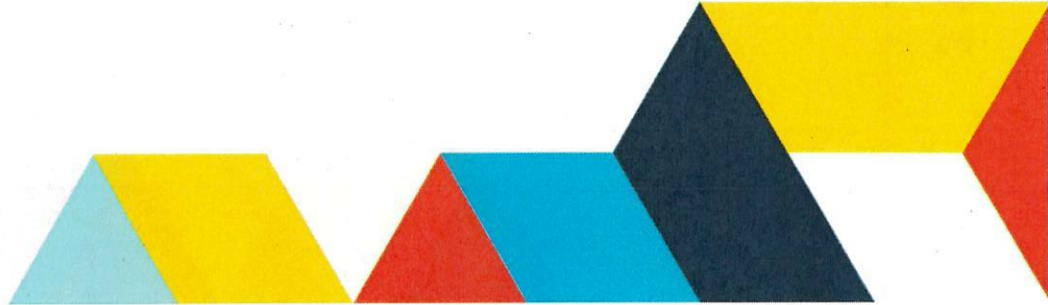
3.1 UNDERSTANDING THE SITE – PUBLIC CONSULTATION

- I. During the development stage it was important that the views of existing local residents were considered. A public consultation was carried out, where local residents were invited to comment on the proposals.
- II. It allowed the public to engage and influence the design process and raise any concerns they had. During the consultation process over 50 responses were received from neighbouring residents.
- III. This fundamental process allowed key feedback to be incorporated and considered during the design process. It has informed the design decisions made and the resulting proposal for the scheme.

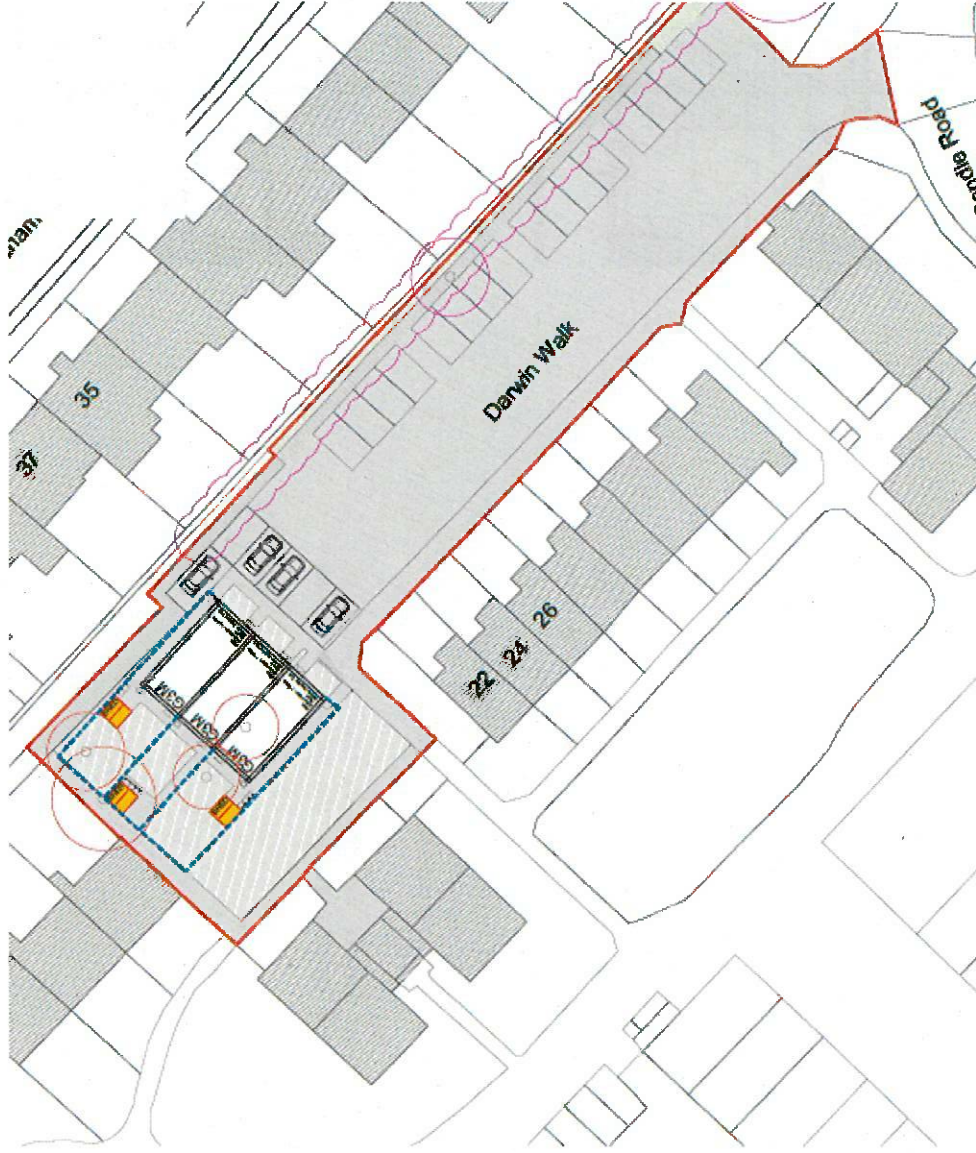


4.0 DESIGN CONTENT & DESIGN INTENT

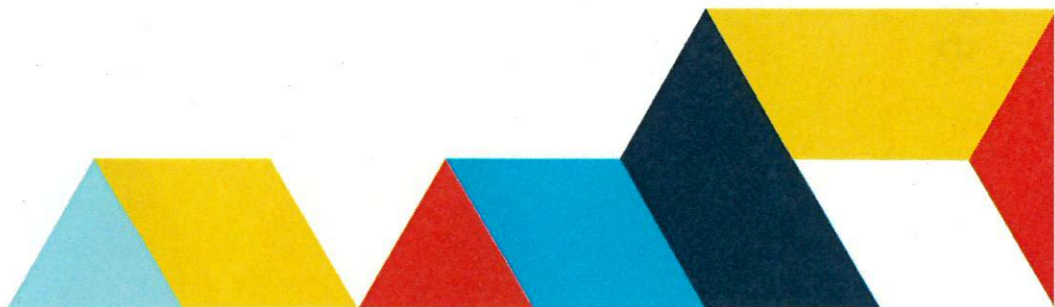
- I. The application seeks to demolish existing garages and proposes to replace these with a detached new build dwelling and associated parking within the site.
- II. The proposed dwelling is a 2 bedroom 4 person property over 2 storeys.
- III. The design intent is to provide homes which fit into the context of the site. It creates attractive and high quality buildings that sit harmoniously within its context.
- IV. The development follows the form of the existing street scene, with the main habitable rooms located to the front of the property and the other rooms to the rear for privacy and security for tenants.
- V. The design of the development seeks to ensure that the proposal is appropriate to the scale of existing buildings around the site and connects to its immediate context.
- VI. The development is designed in response to the constraints of the site and to provide a high quality living environment to its future residents and neighbours.
- VII. The design allows for on site car parking spaces within the site boundary of a domestic garage which is proposed to be demolished. This will provide the proposed and the neighbouring properties with sufficient parking with any remaining parking spaces for visitors.
- VIII. All doors and windows are to be secure and to provide natural surveillance according to the Northampton Planning Out Crime in Northamptonshire Supplementary Planning Guidance document. All entrance doors are to be fitted with a secure locking system.



5.0 LAYOUT – PROPOSED SITE PLAN

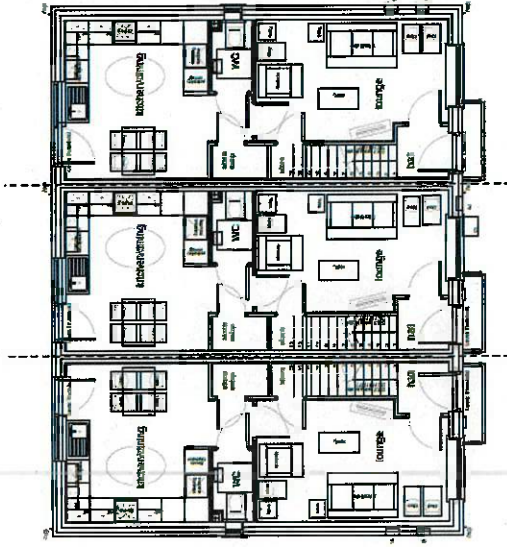


Proposed Site Plan - NTS

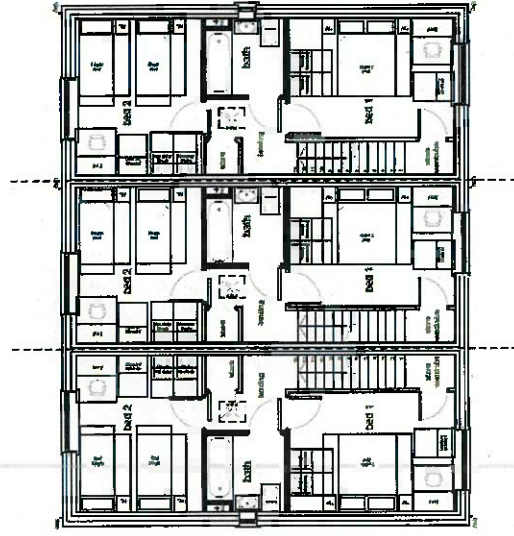


5.1 LAYOUT – PROPOSED PLANS

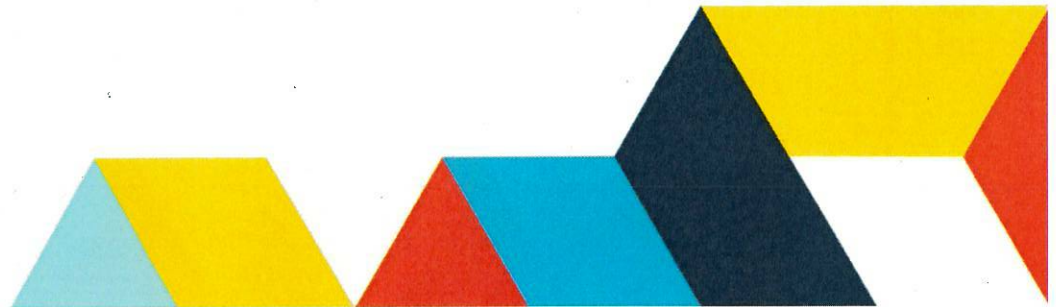
- I. The layout of the buildings arrange the habitable accommodation to both the front and rear of the properties to provide comfortable and light spaces.
- II. There are no overlooking windows proposed on the side elevations.
- III. The property has provision for a shed and refuse storage.
- IV. The layout provides a flexible open plan kitchen/dining space at the rear of the property with the living room to the front.
- V. The design of the pitched roof reflects the neighbouring properties and ensures that the new dwellings is concurrent with its surroundings.
- VI. Step free access from property and dropped kerbs allow for ease of movement for residents to ensure refuse can be left in a convenient place for removal.
- VII. The layout follows Secured by Design principles, giving clear articulation of the public and private realms.



GROUND FLOOR PLAN



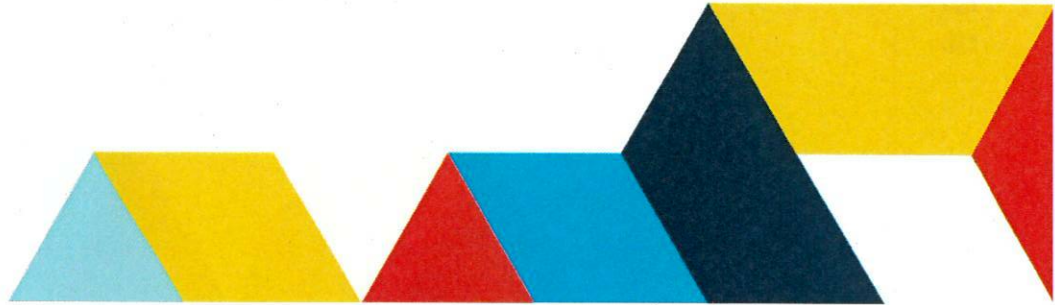
FIRST FLOOR PLAN



5.2 LAYOUT – PROPOSED ELEVATIONS & SECTION



Proposed Elevations - NTS



6.0 SCALE, APPEARANCE & MATERIALS

SCALE

- I. The design of the new development seeks to ensure that it is appropriate to the scale of the existing buildings around the site and connects to its immediate context.
- II. The surrounding properties are two / three storey residential houses.
- III. Street scenes were used through the design stages to ensure that the scale of the development was most appropriate in terms of the context, but also provides a functional building.

MATERIALS

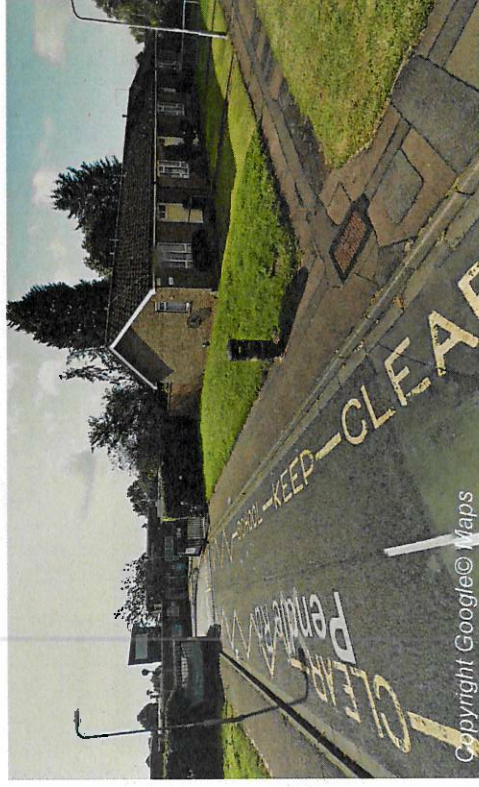
- I. The choice of materials and simple ordered patterns mirror the character of the surrounding properties, and reinforce the residential appearance.
- II. A restricted palette of low maintenance materials such as brick, render and tiles have been incorporated within the design to minimise the costs associated with maintenance, and to allow the buildings to age gracefully over time.
- III. Care has been taken to propose a design of high quality with crisp detailing, which is complimented by a rationalised landscaping scheme to both the front and rear of the development.

FURTHER DETAILS

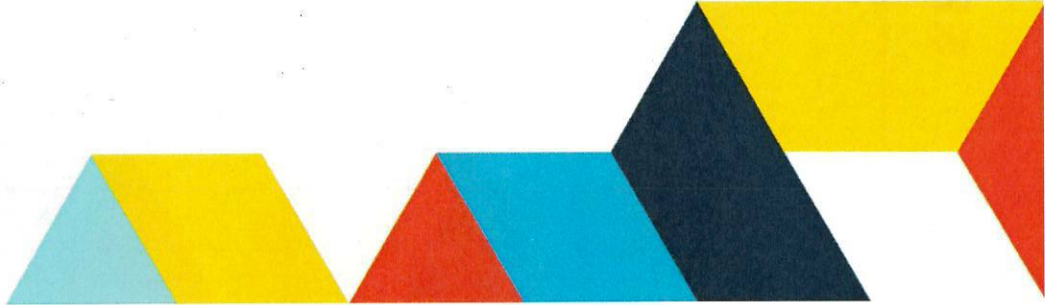
- I. For further detail on materials and boundary types, please refer to the following drawings:
 - (P) 03 - Proposed Site Plan
 - SCH-001 - External Facing Materials
 - SCH-002 - Landscape and Planting
 - SCH-003 - Bicycle, Sheds and Refuse Stores



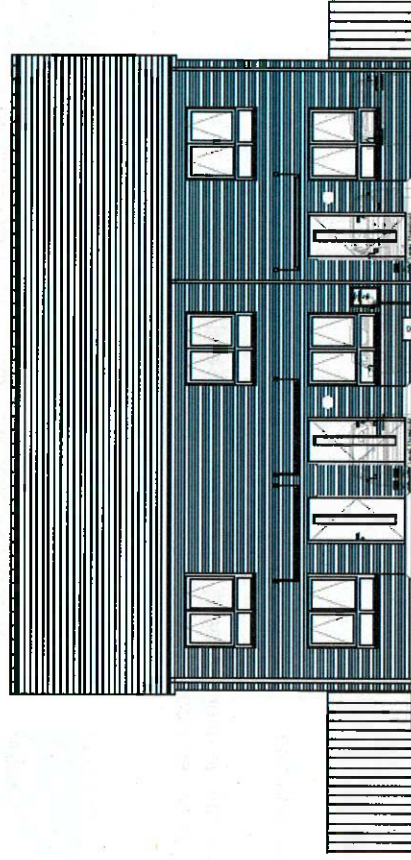
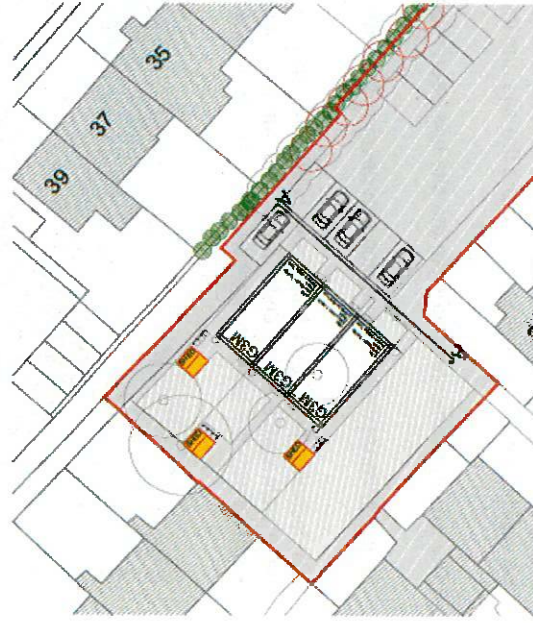
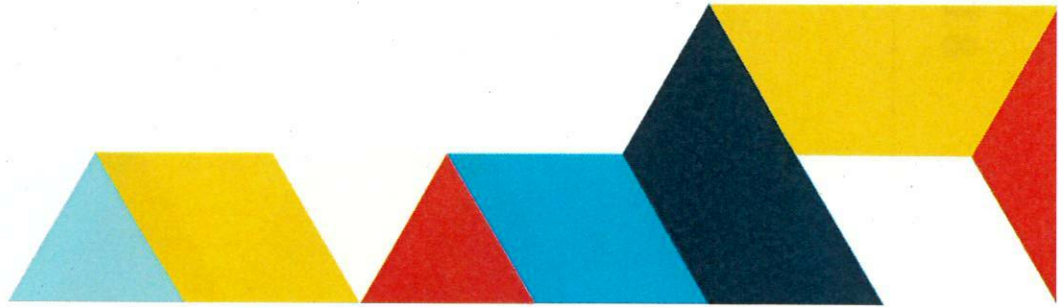
Typical local vernacular



Typical local vernacular



7.0 PROPOSED STREET ELEVATIONS



Street Elevation A

Proposed Street Scene & Site Plan - NTS

8.0 LANDSCAPING & SITE SECURITY

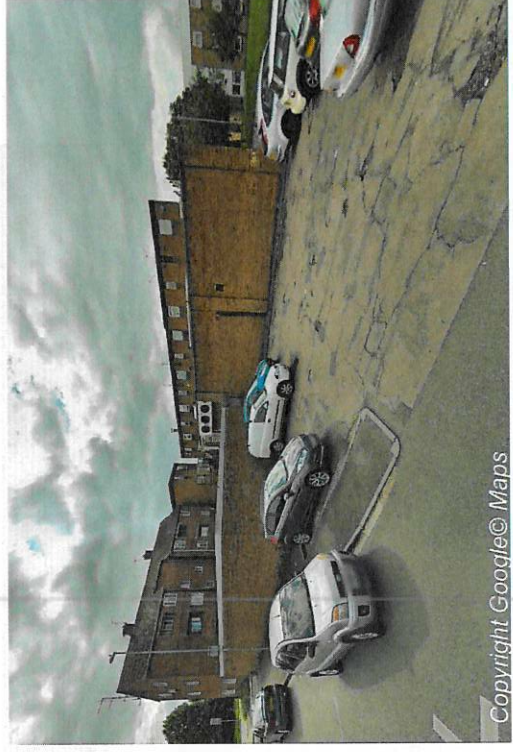
LANDSCAPING PRINCIPLES

- I. Site specific solution considering orientation, exposure and light.
- II. The dwellings are strategically set out on site to allow a protective frontage with low-level shrubbery and fencing.
- III. Property boundaries will be secured by means of a 1.8m close-boarded timber fence with lockable gates and a trellis top. Car parking areas will be illuminated with security lighting to enable surveillance from surrounding properties and to improve the sense of security and safety. Entrance points and pedestrian areas on the site are to be well lit to assist in navigation around the site and improve the potential for surveillance.
- IV. The existing vehicular access to the site has been retained.
- V. Low maintenance scheme which can develop and improve with age.
- VI. Landscaping has been integrated within the scheme to add greenery to hard landscaped areas and to define defensible space which encourages and supports site security, services and access. It is also references and is in-keeping with the existing landscaping seen across the site.



Copyright Google© Maps

Typical Boundary treatment within surrounding area

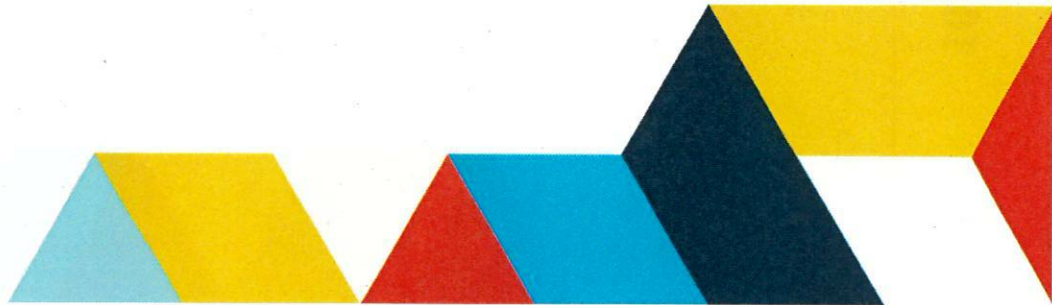


Copyright Google© Maps

Typical Boundary treatment within surrounding area

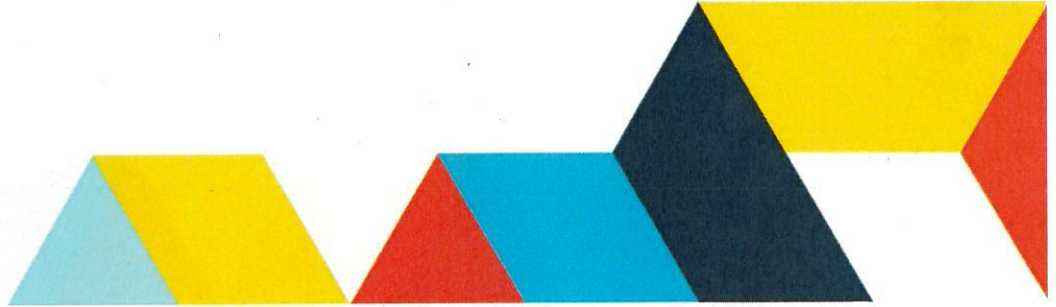
9.0 ACCESS STATEMENT

- I. The properties can be accessed from the front and rear. The front entrance will be built with a canopy for shelter from adverse weather conditions and to provide a physical presence to the street.
- II. The ground floor is designed with corridors at 1.5m wide where possible, and at a minimum of 1.1m where it is not. A Part M compliant staircase will be constructed between floors, however wheelchair accessible accommodation is only required at the ground floor.
- III. All interior arrangements are designed in accordance with client specific requirements as priority, however HCA Guidance and Lifetime Homes guidance have been considered.
- IV. All bin storage can be accessed externally, and is easily accessible with 1.2m path leading from storage area to collection point.
- V. The street will remain pedestrian, cycle and vehicular friendly; with pedestrian priority.
- VI. In order to comply with highways requirements, the maximum access gradient for driveways and paths will not exceed 1 in 15 for a minimum of the first 10m from the highway boundary.
- VII. Where appropriate a slot drain or permeable paving will be implemented on driveways to prevent surface water discharge onto the road.
- VIII. All driveways and private vehicular accesses will have a hard bound surface for the initial 5m from the highway boundary.
- IX. No features will be implemented within visibility splays.



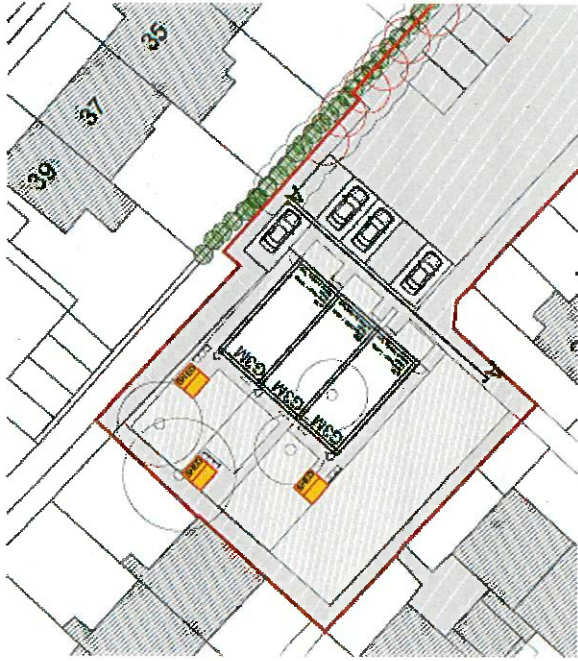
10.0 SUSTAINABILITY

- I. The property has been designed with large windows and double glazing on to promote natural light and ventilation and to achieve the required daylight standards for each room.
- II. Where possible the new development will incorporate SUDS.
- I. The design incorporates a passive ventilation strategy, with cross ventilation in all habitable rooms. The orientation and pitch of the roof provide suitable platform for installation of renewable panels in future.
- II. The property has the capacity to install rainwater harvesting butts for water collection.
- III. The property also provides capacity for recycling facilities within the kitchen and externally.

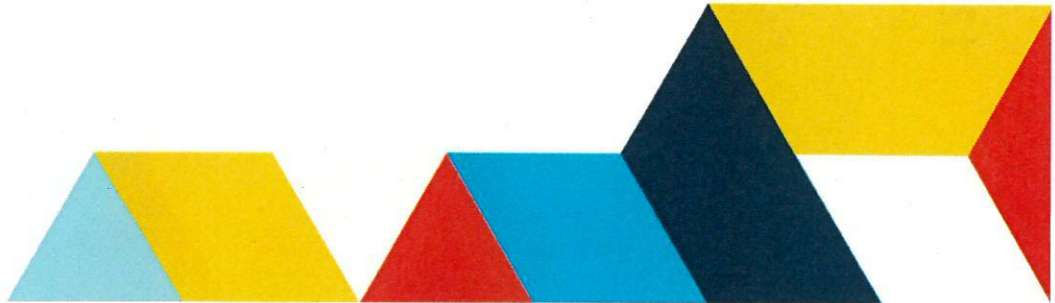


11.0 HIGHWAYS & PARKING

- I. The main point of vehicular access to the site is located on Pendle Road . This access point can also be used for emergency vehicles.
- ii. The design allows for 22 car parking spaces within the site boundary which are for use of the new and existing residents and visitors. The parking spaces provided within the scheme comply with the number prescribed for new residential developments in the Northamptonshire County Council's Parking Standards Guidance document.
- III. The plot is also provided with the recommended private bicycle storage in the form of a shed at the side of the property.
- IV. The proposal will not increase capacity on the road as the development makes use of existing access points from Witton Road and Limehurst Road.

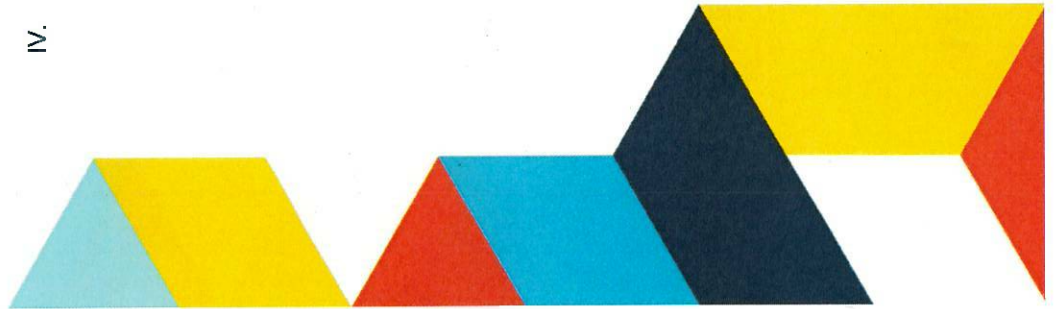


Proposed Site Plan - NTS



12.0 SUMMARY & CONCLUSIONS

- I. The application is designed to provide homes for specially identified needs within the residential site at Pendle Road, Northampton.
- II. The application is a carefully considered, high quality sustainable scheme tailored to its location.
- III. The proposal will provide much needed affordable housing to the district and town.
- IV. Overall the scheme design takes into account the neighbouring context as well as the existing planning policy documents, providing a sustainable housing development which enhances its immediate surroundings. We trust that the Planning Department will support this application and recommend approval to the local members.



13.0 APPENDICES

Planning Policies

Principal

The proposal has been drawn up with reference to the Northampton Urban Design Appraisal, Central Area Action Plan (LAAP 2013), Northampton local Development plan(2017).

The application supports the relevant strategic objectives of the Adopted Plan, especially:

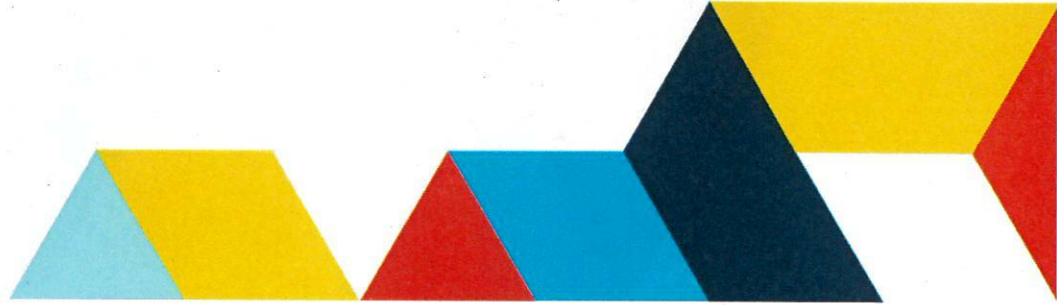
CP2: Population and Housing Growth:

The proposal provides 100% affordable units, but also meets specific needs of housing tenants.

Supplementary planning Guidance (SPG) produced by the Northampton Borough Council, considered to be of relevance to the proposal:

SPG : Mobility Housing Design Guide

SPG : Northamptonshire Parking Standards





LOCK UP GARAGES AND LAND ADJACENT TO
22 DARWIN WALK
PENDLE ROAD
NORTHAMPTON
NN5 6LR

THANK YOU

Site Boundary



66 SOUTHGATE STREET
 NORTHAMPTON NN1 2JF
 T: 01932 232326
 F: 01932 231323
 E: b.garnier@bailygarner.co.uk

CLIENT: Northampton Partnership Homes

PROJECT: 3no. New Dwellings

ADDRESS: Lock up garages and land adjacent to 22 Darwin Walk Northampton

TITLE: Existing Site Plan

PLANNING: Planning

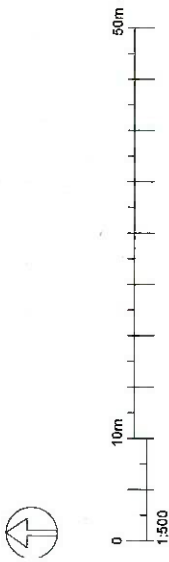
DATE: 08/02/19

REVISION: (P) 02

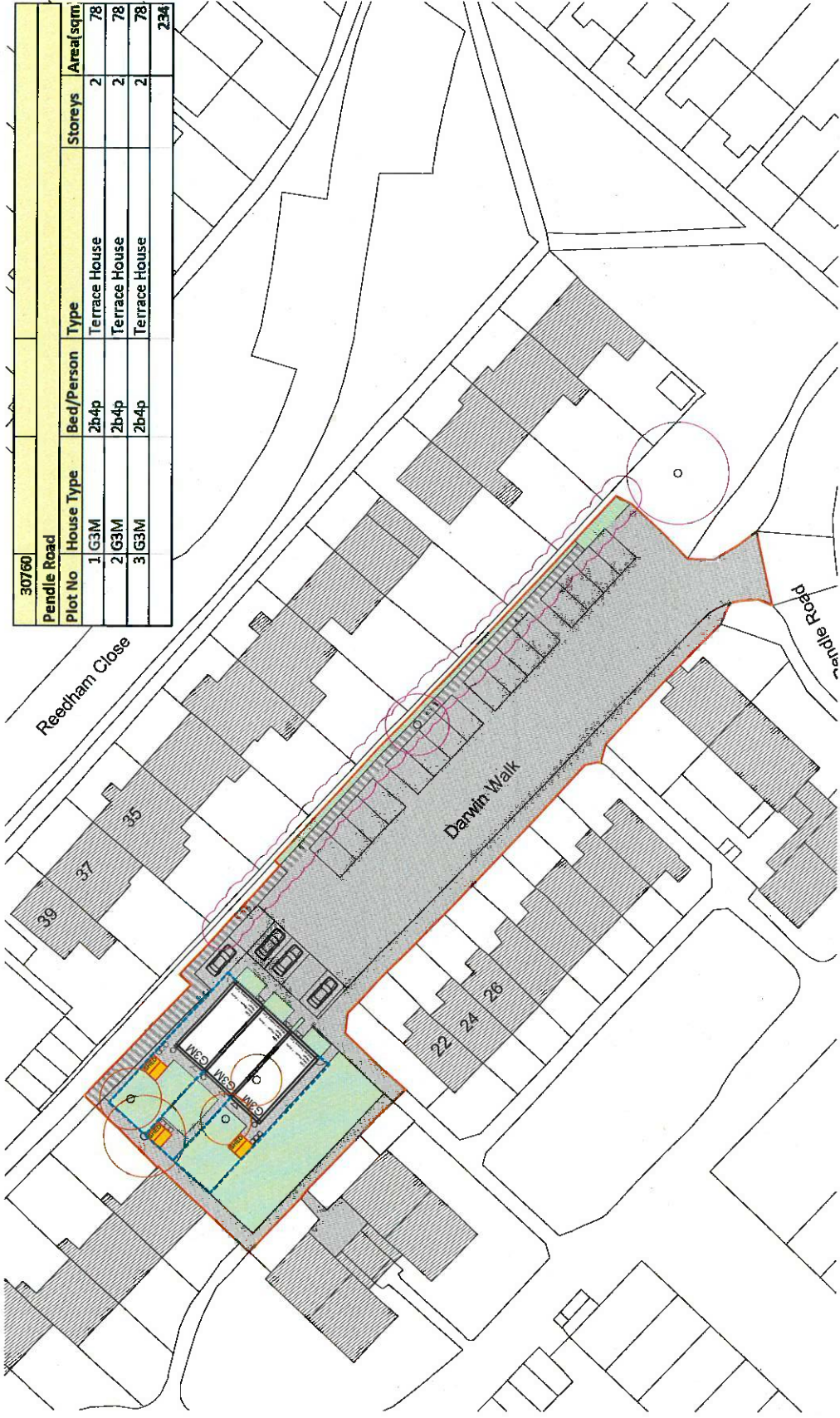
A3

The contractor is responsible for ensuring that products are to be obtained that do not contain asbestos, lead, or other hazardous substances. The contractor is responsible for ensuring that the site is safe for the public and for the environment. The contractor is responsible for ensuring that the site is safe for the public and for the environment. The contractor is responsible for ensuring that the site is safe for the public and for the environment.

REVISION	DATE
A	
B	
C	
D	



Plot No	House Type	Bed/Person	Type	Storeys	Area/sqm
1	G3M	2b4p	Terrace House	2	78
2	G3M	2b4p	Terrace House	2	78
3	G3M	2b4p	Terrace House	2	78
					234



- KEY:**
- SITE BOUNDARY
 - EXISTING TYPE 1 FENCE
 - EXISTING TYPE 2 FENCE
 - EXISTING TYPE 3 FENCE
 - EXISTING TYPE 4 FENCE
 - EXISTING TYPE 5 FENCE
 - EXISTING TYPE 6 FENCE
 - EXISTING TYPE 7 FENCE
 - EXISTING TYPE 8 FENCE
 - EXISTING TYPE 9 FENCE
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 - EXISTING TYPE 99 FENCE
 - EXISTING TYPE 100 FENCE

NOTE:
 All planting, seeding or turfing shall be carried out in the first planting and seeding seasons following the completion of the development, whichever is the sooner, and which shall be maintained for a period of five years; such maintenance to include the replacement in the current or following season whichever is the sooner of any plants, trees or shrubs which are removed or become seriously damaged or diseased with others of similar size and species.

BAILY GARNER
 30 CHARLOTTE STREET
 NORTHAMPTON NN1 1PA
 T 0121 255 2323
 F 0121 255 2333
 E b.garnier@bailygarner.co.uk

CLIENT: Northampton Partnership Homes
PROJECT: 3no. New Dwellings
ADDRESS: Lock up garages and land adjacent to ZZ Darwin Walk Northampton
TITLE: Proposed Site Plan
SCALE: 1:500
DATE: 06/02/2015
REVISION:

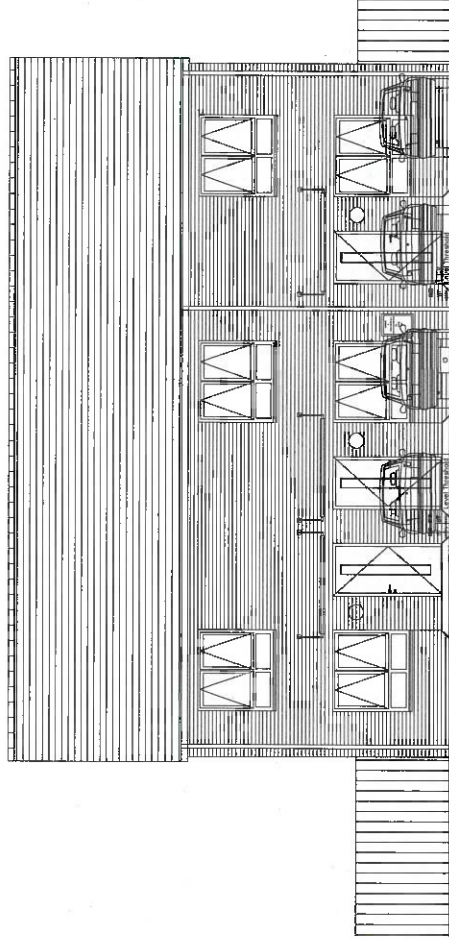
A3
 The contractor is responsible for the production of the drawings and shall be liable for any errors or omissions. The drawings are to be used for the construction of the works and shall not be used for any other purpose without the written consent of the contractor.
 The contractor is responsible for the stability of the ground, structures, services and materials. The drawings are to be used for the construction of the works and shall not be used for any other purpose without the written consent of the contractor.
 Where an item is covered by drawings in different scales, the larger scale drawing is to be used.
 Drawings shall be used for the construction of the works and shall not be used for any other purpose without the written consent of the contractor.

REVISIONS:

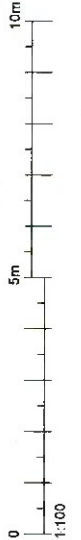
NO	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Scale: 1:500
 0 10m 50m

North Arrow: ↑



Street Elevation A



DATE	BY	DESCRIPTION
17/12/2019	ML	Issued for planning
	D	
	C	

The contractor is responsible to verify that the products are to be installed as detailed on the drawings. The drawings are not to be used for construction without the approval of the architect. The architect is not responsible for checking dimensions, addresses, levels and elevations. This drawing is to be used for construction only and is not to be used for any other purpose. Any work or materials shown on this drawing are for information only and do not constitute a contract. Where all items are shown in brackets as alternative details, this larger scale drawing is to be used for construction. If any dimensions are shown in brackets, they are to be used as a guide only. Do not scale drawings. If any dimensions are shown in brackets, they are to be used as a guide only. This drawing and its contents are the property of Baily Garner LLP and are not to be used for any other purpose without the written consent of Baily Garner LLP.

A3

CLIENT	Northampton Partnership Homes	PROJECT	3no. New Dwellings
ADDRESS	Lock up garages adjacent to 22 Darwin Walk Northampton	TITLE	Proposed Street Elevation
SCALE	1:100	APPROVED BY	ML
JOB NO.	30760	DATE	06/02/2019
		REVISION	(P) 06

BAILY GARNER
 58 CHARLOTTE STREET
 NORTHAMPTON NN1 1YK
 T 01921 282320
 E b.garnier@bailygarner.co.uk

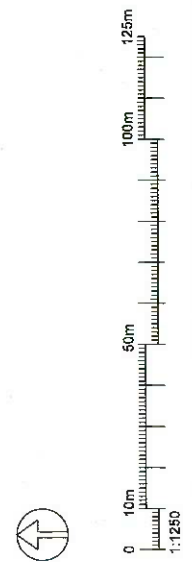


CLIENT: Northampton Partnership Homes
 PROJECT: 3no. New Dwellings
 ADDRESS: Lock up garages and land adjacent to 22 Darwin Walk Northampton
 PURPOSE OF ISSUE: Planning
 DRAWN BY: G ML
 CHECKED BY: B ML
 DATE: 02/02/19
 DRAWING NO: 30760 (P) 01

A3

This document is prepared to assist in the preparation of a Planning Application. It is not intended to be used for any other purpose. The information contained herein is for the use of the client only and is not to be used for any other purpose. The information contained herein is for the use of the client only and is not to be used for any other purpose. The information contained herein is for the use of the client only and is not to be used for any other purpose.

Scale: 1:1250
 Date: 02/02/19
 Drawing No: 30760



N/2019/0305

**8 Knighton Close,
Northampton, NN5 6NE**

**First floor side and front
extension, conversion of
part of garage to living
accommodation and new
front porch**

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	8
Suffix	
Property name	
Address line 1	Knighton Close
Address line 2	
Address line 3	
Town/city	Northampton
Postcode	NN5 6NE

Description of site location must be completed if postcode is not known:

Easting (x)	471360
Northing (y)	263015

Description

2. Applicant Details

Title	Mr
First name	Josh
Surname	Harding
Company name	
Address line 1	8, Knighton Close
Address line 2	
Address line 3	
Town/city	Northampton
Country	

2. Applicant Details

Postcode	NN5 6NE
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

Yes No

3. Agent Details

Title	Mr
First name	Edward
Surname	Gray
Company name	Gray Architectural Design
Address line 1	14 Bamburgh Close
Address line 2	
Address line 3	
Town/city	Rushden
Country	United Kingdom
Postcode	NN10 0TD
Primary number	07751216805
Secondary number	
Fax number	
Email	info@grayarchitecturaldesign.co.uk

4. Description of Proposed Works

Please describe the proposed works:

The proposal consists of a two storey side extension with a new front porch

Has the work already been started without consent?

Yes No

5. Materials

Does the proposed development require any materials to be used in the build?

Yes No

Please provide a description of existing and proposed materials and finishes to be used in the build (including type, colour and name for each material):

Walls

Description of existing materials and finishes (optional):

Existing walls are brickwork in a cavity wall bond

5. Materials

Walls

Description of proposed materials and finishes:

Proposed walls are to be brickwork in a cavity wall bond to match existing

Roof

Description of existing materials and finishes (optional):

Existing roof consists on a smooth clay tile

Description of proposed materials and finishes:

Proposed roof finish is to be a smooth clay roof tiles to match existing.

Windows

Description of existing materials and finishes (optional):

Existing windows are UPVC in a white finish

Description of proposed materials and finishes:

Proposed windows are to be UPVC in a white finish to match existing.

Doors

Description of existing materials and finishes (optional):

Existing doors are to be UPVC in a white finish

Description of proposed materials and finishes:

Proposed doors are to be UPVC in a white finish to match existing.

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes No

If Yes, please state references for the plans, drawings and/or design and access statement

JH-P-01 - Existing Plans
JH-P-02 - Existing Elevations
JH-P-03 - Proposed Plans
JH-P-04 - Proposed Elevations
JH-P-05 - Proposed 3D Perspective Views
JH-P-06 - Existing & Proposed Block Plans

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes No

8. Parking

Will the proposed works affect existing car parking arrangements?

Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

9. Site Visit

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- The agent
- The applicant
- Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
- The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf**

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief.

Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

1. Application Details

Applicant or Agent Name:

Edward Gray - Gray Architectural Design Ltd

Planning Portal Reference (if applicable):

Local authority planning application number (if allocated):

Site Address:

8 Knighton Close
Northampton
NN5 6NE

Description of development:

The proposal consists of a two storey side extension with a new porch.

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes

Please enter the application number:

No

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes No

b) Proposals for one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?

Yes No

c) None of the above

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes No

b) Does this application involve a change in the amount of floorspace where one or more new dwellings (including residential annexes) are proposed, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional floorspace)?

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 - 'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from www.planningportal.co.uk/cil

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered yes to c) please also complete a CIL Form 7- 'Self Build Exemption Claim Form: Part 1' available from www.planningportal.co.uk/cil . Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes No

If you have answered yes to d) please also complete either CIL Form 8 - 'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 - 'Self Build Extension Exemption Claim Form' available from www.planningportal.co.uk/cil . Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, in respect of a residential annex, must receive prior to the commencement of your development , in order to benefit from relief from the levy

5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes

Please enter the application number:

No

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.

6. Proposed New Floorspace

a) Does your application involve new **residential floorspace** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes No

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new **non-residential floorspace**?

Yes No

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential floorspace				
Total non-residential floorspace				
Total floorspace				

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

7. Existing Buildings continued

1	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?		When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
					Yes <input type="checkbox"/>	No <input type="checkbox"/>	
1					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace							

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period? If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building? Yes No

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

8. Declaration

I/we confirm that the details given are correct.

Name:

Edward Gray

Date (DD/MM/YYYY). Date cannot be pre-application:

07/03/2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:

PLANNING CONSULTATION LIST

Application Reference	N/2019/0305	
Location	8 Knighton Close, Northampton, NN5 6NE	
Proposal	First floor side and front extension, conversion of part of garage to living accommodation and new front porch	

CONSULTEES

Name	Type	Sent Date	Expiry Date
Duston Parish Council	Consultation	18/03/2019	08/04/2019
Cllr John Caswell	Consultation	18/03/2019	08/04/2019
Cllr Matthew Golby	Consultation	18/03/2019	08/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	18/03/2019	08/04/2019

Overall Consults Expiry Date: 8 April 2019

Overall Re-Consults Expiry Date:

NEIGHBOURS

Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
37 Knighton Close Northampton NN5 6NE	18/03/2019	08/04/2019		
7 Knighton Close Northampton NN5 6NE	18/03/2019	08/04/2019		
9 Knighton Close Northampton NN5 6NE	18/03/2019	08/04/2019		

70 Port Road Northampton Northamptonshire NN5 6NL	18/03/2019	08/04/2019	
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Overall Neighbour Expiry Date: 8 April 2019

Overall Neigh Re-consults Expiry Date:

N/2019/0316

**23 Westbury Close,
Northampton, NN5 6AN**

First floor side extension



NORTHAMPTON
BOROUGH COUNCIL

Development Control

1st Floor, The Guildhall
St. Giles Square
Northampton, NN1 1DE

Tel: 0300 330 7000 / email: planning@northampton.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	23
Suffix	
Property name	
Address line 1	Westbury Close
Address line 2	
Address line 3	
Town/city	Northampton
Postcode	NN5 6AN

Description of site location must be completed if postcode is not known:

Easting (x)	472867
Northing (y)	261170
Description	

2. Applicant Details

Title	Mr
First name	N
Surname	KARIM
Company name	
Address line 1	35 TOWER SQUARE
Address line 2	
Address line 3	
Town/city	Northampton
Country	

2. Applicant Details

Postcode	NN5 5FH
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

Yes No

3. Agent Details

Title	Mr
First name	Mizanur
Surname	Rahman
Company name	Design Board-Architectural Services
Address line 1	78 Stanley Road
Address line 2	
Address line 3	
Town/city	Wellingborough
Country	United Kingdom
Postcode	NN8 1EA
Primary number	07983478260
Secondary number	
Fax number	
Email	info@design-board.co.uk

4. Description of Proposed Works

Please describe the proposed works:

FIRST FLOOR SIDE EXTENSION

Has the work already been started without consent?

Yes No

5. Materials

Does the proposed development require any materials to be used in the build?

Yes No

Please provide a description of existing and proposed materials and finishes to be used in the build (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	PLEASE REFER TO PLANS

5. Materials

Walls

Description of proposed materials and finishes:

PLEASE REFER TO PLANS

Roof

Description of existing materials and finishes (optional):

PLEASE REFER TO PLANS

Description of proposed materials and finishes:

PLEASE REFER TO PLANS

Windows

Description of existing materials and finishes (optional):

PLEASE REFER TO PLANS

Description of proposed materials and finishes:

PLEASE REFER TO PLANS

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes No

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes No

8. Parking

Will the proposed works affect existing car parking arrangements?

Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- The agent
 The applicant
 Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

11. Authority Employee/Member

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE B - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates.

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant' has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

Name of Owner/Agricultural Tenant	MRS. S. PANJA
Number	23
Suffix	
House Name	
Address line 1	WESTBURY CLOSE
Address line 2	
Town/city	NORTHAMPTON
Postcode	NN5 6AN
Date notice served (DD/MM/YYYY)	09/03/2019

Person role

- The applicant
- The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf**

1. Application Details

Applicant or Agent Name:

DESIGN BOARD ARCHITECTURAL SERVICES

Planning Portal Reference
(if applicable):

Local authority planning application number
(if allocated):

Site Address:

23 WESTBURY CLOSE, NORTHAMPTON, NN5 6AN

Description of development:

FIRST FLOOR SIDE EXTENSION

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes

Please enter the application number:

No

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes No

b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

c) None of the above

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes No

b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered yes to a) or b), please also complete CIL Form 2 – '**Claiming Exemption or Relief**' available from www.planningportal.gov.uk/cil. You will also need to complete this form if you think you are eligible for discretionary charitable relief offered by the relevant local authority, please check their website for details.

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered yes to c) please also complete a CIL Form SB1-1 - '**Self Build Exemption Claim Form: Part 1**' available from www.planningportal.gov.uk/cil.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes No

If you have answered yes to d) please also complete CIL Form '**Self Build Annex or Extension Claim Form**' available from www.planningportal.gov.uk/cil.

5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes Please enter the application number:

No

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.

6. Proposed New Floorspace

a) Does your application involve new **residential floorspace** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes No

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new **non-residential floorspace**?

Yes No

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential floorspace				
Total non-residential floorspace				
Total floorspace				

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 of the 36 previous months (excluding temporary permissions)?		When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
					Yes <input type="checkbox"/>	No <input type="checkbox"/>	
1					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace							

7. Existing Buildings continued

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period? If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building?

Yes No

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

8. Declaration

I/we confirm that the details given are correct.

Name:

MR. M. RAHMAN

Date (DD/MM/YYYY). Date cannot be pre-application:

09/03/2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:

PLANNING CONSULTATION LIST

Application Reference	N/2019/0316
Location	23 Westbury Close, Northampton, NN5 6AN
Proposal	First floor side extension

CONSULTEES

Name	Type	Sent Date	Expiry Date
Duston Parish Council	Consultation	18/03/2019	08/04/2019
Cllr Tim Hadland	Consultation	18/03/2019	08/04/2019
Cllr Suresh Patel	Consultation	18/03/2019	08/04/2019
Duston Parish Council - Neighbourhood Forum	Consultation	18/03/2019	08/04/2019

Overall Consults Expiry Date: 8 April 2019

Overall Re-Consults Expiry Date:

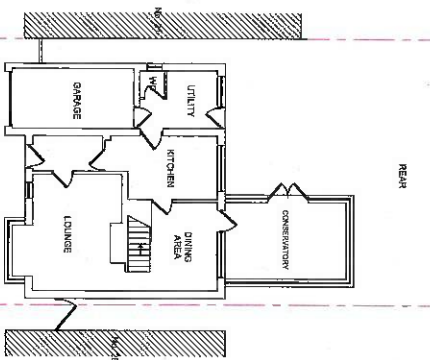
NEIGHBOURS

Address	Sent Date	Expiry Date	Re-consult Sent Date	Re-consult Expiry Date
21 Westbury Close Northampton NN5 6AN	18/03/2019	08/04/2019		
25 Westbury Close Northampton NN5 6AN	18/03/2019	08/04/2019		
16 Westbury Close Northampton NN5 6AN	18/03/2019	08/04/2019		
18 Westbury Close Northampton NN5 6AN	18/03/2019	08/04/2019		

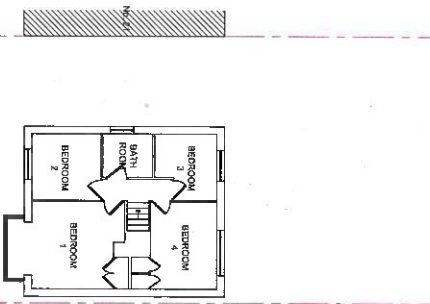
21 Westbury Close Northampton NN5 6AN	18/03/2019	08/04/2019		
25 Westbury Close Northampton NN5 6AN	18/03/2019	08/04/2019		

Overall Neighbour Expiry Date: 8 April 2019

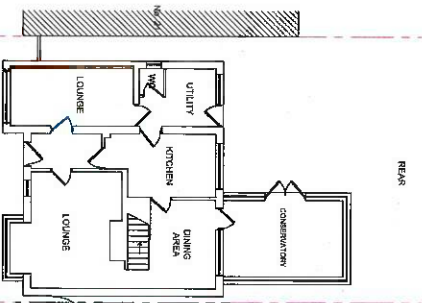
Overall Neigh Re-consults Expiry Date:



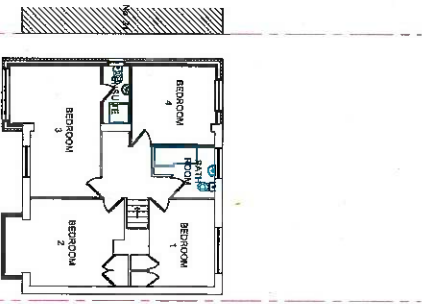
EXISTING GROUND FLOOR PLAN
Scale 1:100



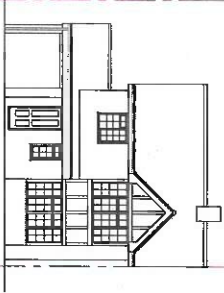
EXISTING FIRST FLOOR PLAN
Scale 1:100



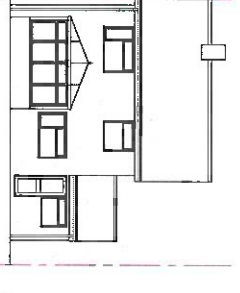
PROPOSED GROUND FLOOR PLAN
Scale 1:100



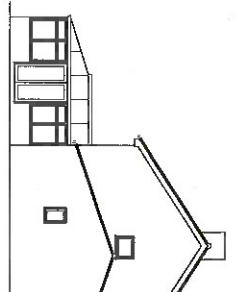
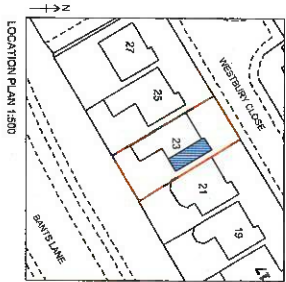
PROPOSED FIRST FLOOR PLAN
Scale 1:100



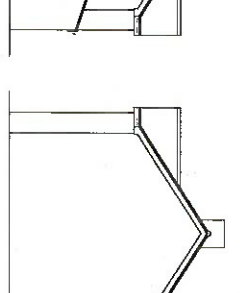
EXISTING FRONT ELEVATION
Scale 1:100



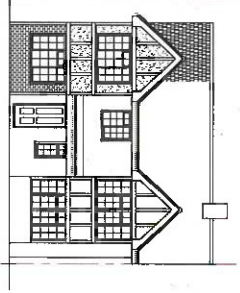
EXISTING REAR ELEVATION
Scale 1:100



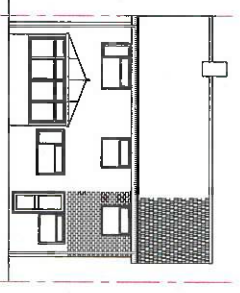
EXISTING SIDE ELEVATION
Scale 1:100



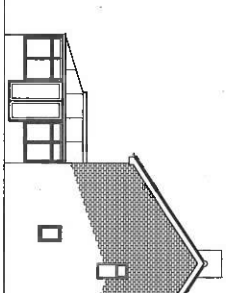
EXISTING SIDE ELEVATION
Scale 1:100



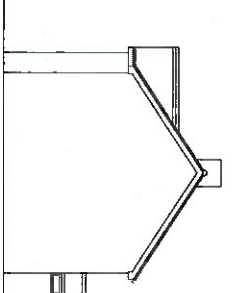
PROPOSED FRONT ELEVATION
Scale 1:100



PROPOSED REAR ELEVATION
Scale 1:100



PROPOSED SIDE ELEVATION
Scale 1:100



PROPOSED SIDE ELEVATION
Scale 1:100

COPYRIGHT NOTES

No copyright may be made from this drawing without the prior written permission of the author.

Any designer or third party who uses this drawing for any other project without the prior written permission of the author is liable for any and all consequences.

Approved For Approval & sign-off by the Client. To be confirmed on site by the Contractor.

All drawings shown on the plans is provisional and may require on-site agreement with the Building Control Officer.

All drawings must be made to the standards set out in the Building Control Officer's specifications.

All rights described in Chapter 17 of the Copyright, Design and Patents Act 1988, shall be reserved by the author.

Structural calculations have been prepared by an Engineer for the design of the structure for the proposed extension. The Engineer is not responsible for the design of the structure for the proposed extension.

Before construction of the works the contractor shall check and verify levels, all relevant sewer outlets, and ground levels and condition points.

The drawings must be held in accordance with the contract and signed by the contractor and the architect to give information on project conditions and boundaries.

Specifications to be used as guidance only and not to be relied on for the proposed project.

The contractor is to carry out the work in accordance with the Building Regulations, and relevant Council Bylaws.

The party Wall Act 1961.

The provision of the party wall and party wall agreement shall be the responsibility of the client and shall be required by the Party Wall Act 1961, 28 days prior to commencement of work.

CONTRACT NOTES

The contractor is advised to take the following into account for the works:

- 1. All materials and goods incorporated in the works shall comply with the requirements of the Building Regulations.
- 2. All work shall be carried out in accordance with the Building Regulations.
- 3. All work shall be carried out in accordance with the Building Regulations.
- 4. All work shall be carried out in accordance with the Building Regulations.
- 5. All work shall be carried out in accordance with the Building Regulations.

GENERAL NOTES

The contractor is advised to take the following into account for the works:

- 1. All materials and goods incorporated in the works shall comply with the requirements of the Building Regulations.
- 2. All work shall be carried out in accordance with the Building Regulations.
- 3. All work shall be carried out in accordance with the Building Regulations.
- 4. All work shall be carried out in accordance with the Building Regulations.
- 5. All work shall be carried out in accordance with the Building Regulations.

CLIENT INFORMATION

The contractor is advised to take the following into account for the works:

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- 4. All work shall be carried out in accordance with the Building Regulations.
- 5. All work shall be carried out in accordance with the Building Regulations.

design board
Architectural Services

15, Church Street
Northampton NN1 1 1JG
Tel: 01603 232333
Fax: 01603 232334
www.designboard.co.uk

CLIENT
22 WESTBURY CLOSE
NORTHAMPTON
NN5 6AN

TITLE
TWO STOREY SIDE EXTENSION

DRAWING
EXISTING AND PROPOSED
ELEVATION AND
SECTION PLANS

DRWG NO A/197/18

SCALE 1:500 & 1:1250

DATE MARCH 2018

PROPOSAL IN KEEP WITH NEIGHBOURING PROPERTIES:
No. 8 - Ref. N2014/1082
No. 19 - Ref. N2007/0683

