



DUSTON PARISH COUNCIL

Duston Parish Council
Duston Community
Centre
Pendle Road
Duston
Northampton
NN5 6DT

Planning Committee

Cllrs Barnes, Enright-King, Ingram, Liddon, Mumford, Littlewood

23th February 2024

Dear Councillor,

You are hereby summoned to attend a meeting of the Planning Committee to be held at Duston Community Centre on Thursday 29th February 2024 commencing at 7.00pm for the purpose of transacting the following business.

Issued by:

Gary Youens
Parish Clerk, Duston Parish Council

AGENDA

PC061/24. To receive apologies for absence

PC062/24. To receive and approve for signature the minutes of the meeting held on Thursday 25th January 2024 (APPENDIX A)

PC063/24. To receive declarations of interest under the Council's Code of Conduct related to business on the agenda (*Members should disclose any interests in the business to be discussed and are reminded that the disclosure of a Disclosable Pecuniary Interest will require that the member withdraws from the meeting room during the transaction of that item of business*).

Tel: 01604 583626

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Email: office@duston-pc.gov.uk

@DustonPC @Duston_PC

PC065/24. Public Participation Session (*Persons wishing to address the committee on an agenda item may register their intention to do so by telephone or email by 12 noon on the day of the meeting and may speak for a maximum of 3 minutes*).

PC066/24. To Discuss Planning Applications Received from the Planning Authority

	Planning Application No	Site Address	Proposal
a)	2024/0524/FULL	481 Harlestone Road Northampton NN5 6NY	Construction of two storey rear extension; single storey side extension with lean too roof; Insulate and render the front; Removal of the bushes to the front of the property and install a garden wall
b)	2024/0560/FULL	106 Southfield Road Northampton NN5 6HJ	Demolition of existing garage/extension. Construction of single storey rear and side extension.
c)	2024/0463/FULL	34 Southfield Road Northampton NN5 6HN	Proposed garage conversion, porch extension and internal alterations
d)	2024/0488/FULL	Industrial Rehabilitation Unit Berrywood Road Northampton NN5 6XA	Single storey front extension to house coffee shop & insertion of window to rear elevation.
e)	2024/0477/FULL	Shop1 Limehurst Square Northampton NN5 6LP	Change of Use from a Veterinary Practice to Use Class E
f)	2024/0593/FULL	112 Main Road Duston Northampton NN5 6RA	Two storey rear extension including part single storey rear extension

g)	2023/8021/FULL	119 Southfield Road Northampton NN5 6HJ	New front entrance, Demolition of garage to create a single storey side extension, Replace flat roof with pitched roof. Demolish outside walls to construct new front walls. Render of property
h)	2024/0662/FULL	1 Katherine Close Northampton NN5 6GS	Single storey side and rear extensions
i)	2024/0858/FULL	7 Hawkstone Close Northampton NN5 6RZ	Proposed new boundary wall
j)	2024/0819/FULL	24 Millway Northampton NN5 6ES	Demolish exist single storey garage and store and construct new two storey ancillary building for home office, storage and games use.
k)	2024/0383/FULL	44 Park Lane Northampton NN5 6QD	Single storey rear extension.

PC067/24. Vehicle Issues Outside The Duston School

- To discuss the following proposals received from a resident that aim decrease nuisance parking outside The Duston School and recommend a course of action to Council:
 - a) The implementation of Single Yellow Lines.
 - b) The implementation of Double Yellow Lines.
 - c) The creation of a School Street.
 - d) The creation of a 20mph speed zone on Berrywood Road.

PC068/24. S106 / CIL Update

- To receive a verbal update from the Clerk surrounding S106 / CIL monies.



DUSTON PARISH COUNCIL

Duston Parish Council
Duston Community
Centre
Pendle Road
Duston
Northampton
NN5 6DT

Planning Committee Minutes
Thursday 25th January 7pm 2024

Chair: Cllr M Ingram

Councillors Present: Barnes, Liddon, Littlewood, Mumford

IN ATTENDANCE:
Gary Youens – Clerk

PC055/24. To receive apologies for absence

- Apologies were received from Cllr Enright-King.

PC056/24. To receive and approve for signature the minutes of the meeting held on Thursday 14th December 2023 (APPENDIX A)

- **RESOLVED:** That the draft minutes of the meeting held on Thursday 14 the December 2023 were approved as a true record and duly signed by the Chair.

PC057/24. To receive declarations of interest under the Council's Code of Conduct related to business on the agenda

- Members were reminded of the need to declare any interests in the items on this agenda, whether pecuniary or otherwise. There were no interests declared.

PC058/24. Public Participation Session

- There were no members of the public present.

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PC059/24. To Discuss Planning Applications Received from the Planning Authority

• **RESOLVED:**

a) 2023/7830/S73 – 274 Main Road Northampton NN5 6PP

- No comment or observation.

PC060/24. S106 / CIL Update

- Recently there was an article in the Northampton Chronicle & Echo about outstanding S106 / CIL. This is an issue that applies to all parishes in the former Borough of Northampton.
- **RESOLVED:** That the verbal update from the Chair of Committee surrounding S106 / CIL monies was received, discussed and noted. The Chair of the Committee also spoke of how Upton Parish Council is trying to get S106 monies owed. The Clerk and Cllr Ingram will be part of a planning discussion with WNC next week.

The meeting finished at 7:31pm

a) 2024/0524/FULL – 481 Harlestone Road Northampton NN5
6NY – Construction of two storey rear extension; single storey
side extension with lean-to roof; installation of boundary wall at
front.

Date Produced: 23-Nov-2023

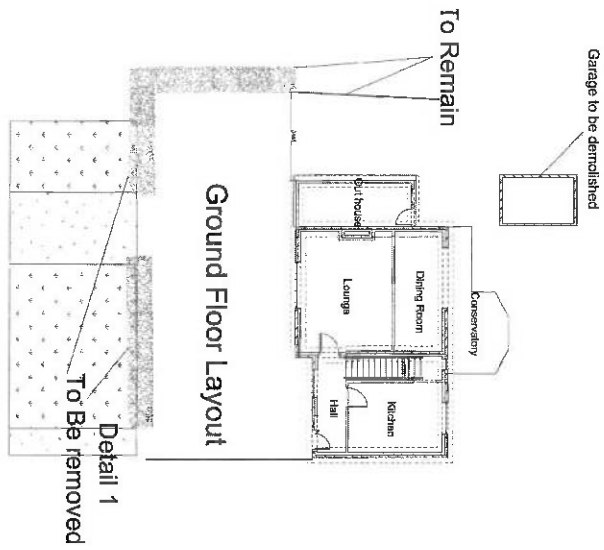
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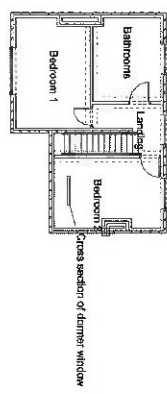
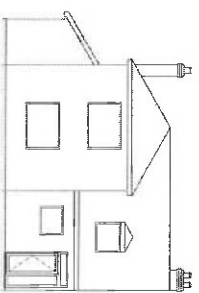
Planning Portal Reference: PP-12624252v1



EXISTING

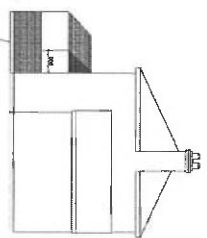


Front Elevation

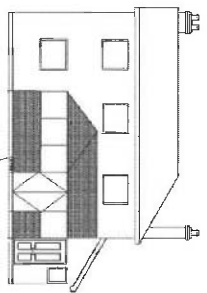


First Floor Layout

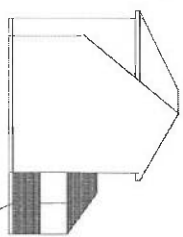
Side elevation



Rear elevation



Side elevation



The existing property is of brick construction with no cavity.

The rear of the property is rendered. Painted white.

The front and side still has the facing brick showing but has deteriorated. There has been attempts to re point but again has been done poorly.

The roof is Slate covering

The existing windows are UPVC.

The rear are rosewood in colour but dated and in need of upgrade. The front have recently been upgraded to meet current building regulations and U values. And are Anthracite grey in colour.

The Garage is of very poor quality with Asbestos roof.

Detail 1. Bush to be removed

W Lee Carpentry LTD

Existing Drawings for a rear and side extension

418 Harlestone road
Northampton
NN5 8NY

Drawing Title
Existing

Client
GARY BRADSHAW

Drawing No.
001

Date
23/1/23

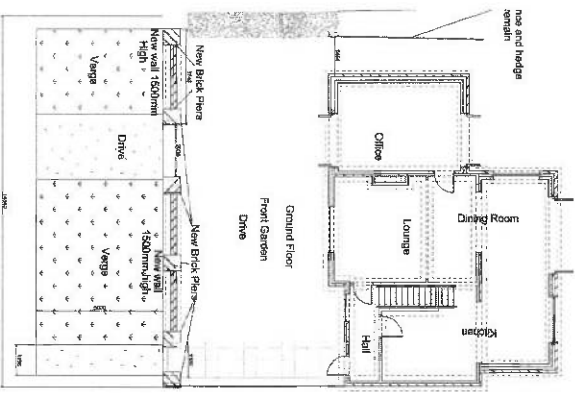
Drawn by
Wesley Lee

Scale
1:100

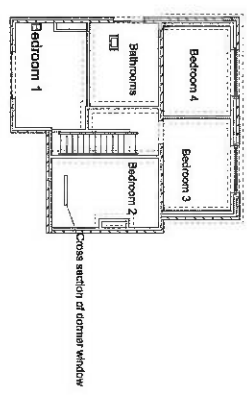
Page Size - A1

5000 mm

PROPOSED



Detail 1
Wall to be brick construction:
1500mm tall with 2100mm piers
with metal railings inbetween piers



First Floor

The proposed is a single storey side extension and a rear double storey extension.

With the existing being a solid brick wall with no cavity.

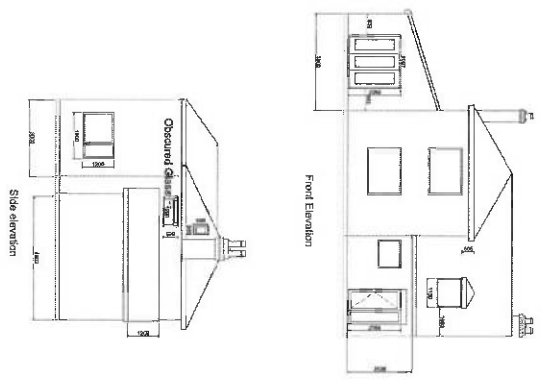
The customer would like to increase the insulation properties by insulating and rendering the exterior of the areas that are not affected or u values increased by the proposed extensions. The rear existing is already a sand and cement render.

The render proposed is a silicon based thin coat suitable for the insulation. The colour proposed is white but customer is happy for advice from the planning Committee.

The existing roof is quite shallow. To avoid a flat roof I propose to hipped apex roofs with a back gutter. Allowing to keep the pitched roof with slate covering

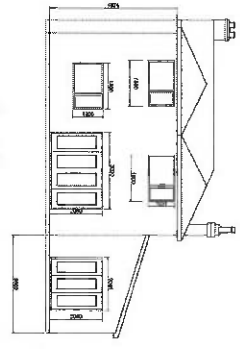
All Windows to be upgraded to meet current building regulations and increase there U values.

The front section of the property. The customer would like to remove the existing bush and construct a brick wall with brick piers.

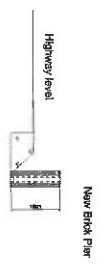


Front Elevation

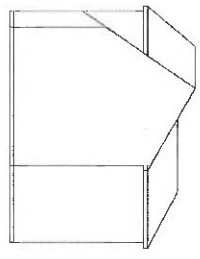
Side elevation



Rear elevation



New Brick Pier



Cross section of dormer window

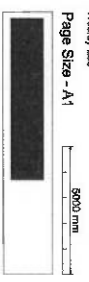
W Lee Carpentry LTD

Project
Side and Rear extensions
481 Halesstone Road
Northampton
NN5 8NY
Drawing Title
Proposed

Client
Gary Bradshaw
Drawing No.
003
Date
23.11.23
Drawn by
Wesley Lee

Scale
1:100

Page Size - A1



b) 2024/0560/FULL - 106 Southfield Road Northampton NN5 6HJ –
Demolition of existing garage/extension. Construction of single
storey rear and side extension.

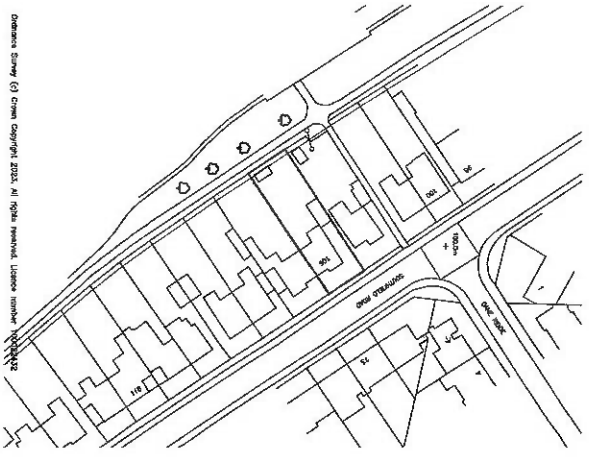
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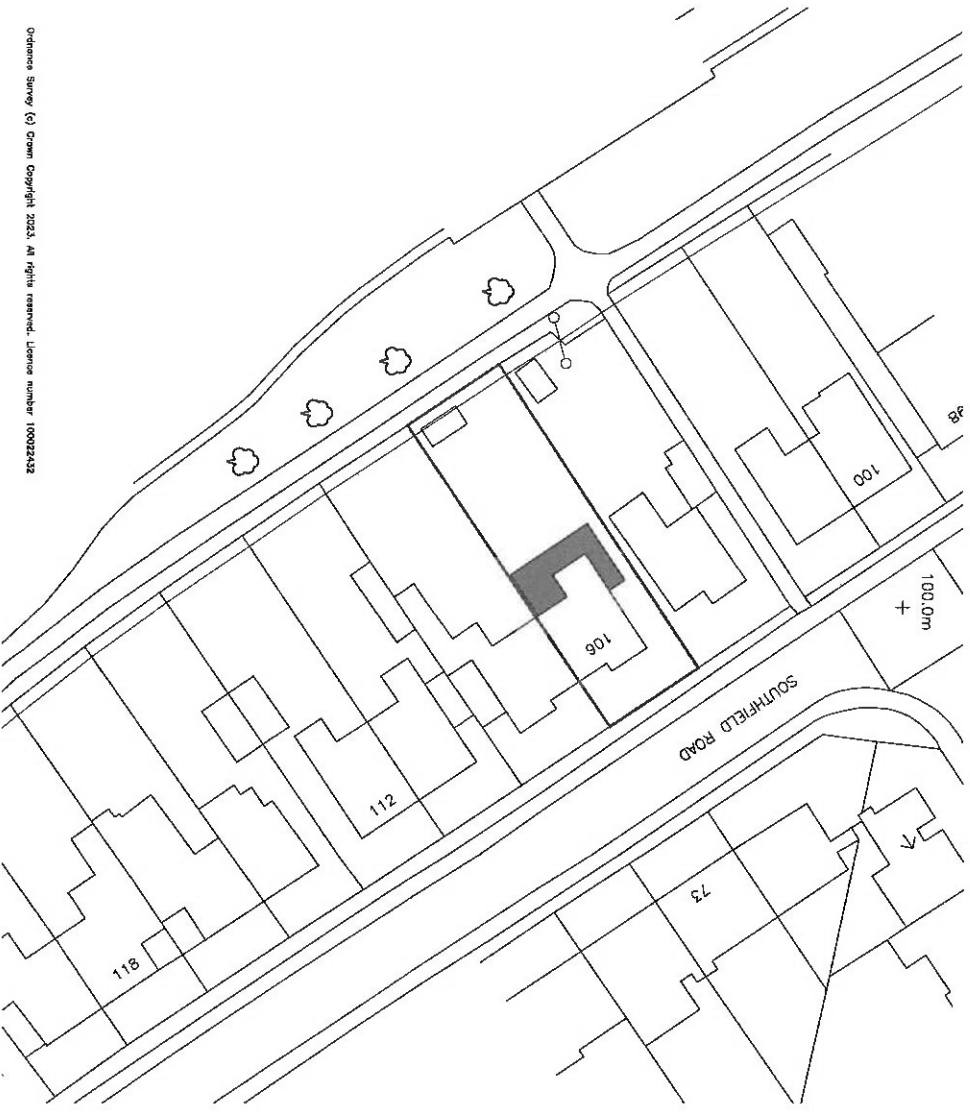
Planning Portal Reference: PP-12638185v1





Location Plan 1:1250

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Proposed Block Plan 1:500

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1:500

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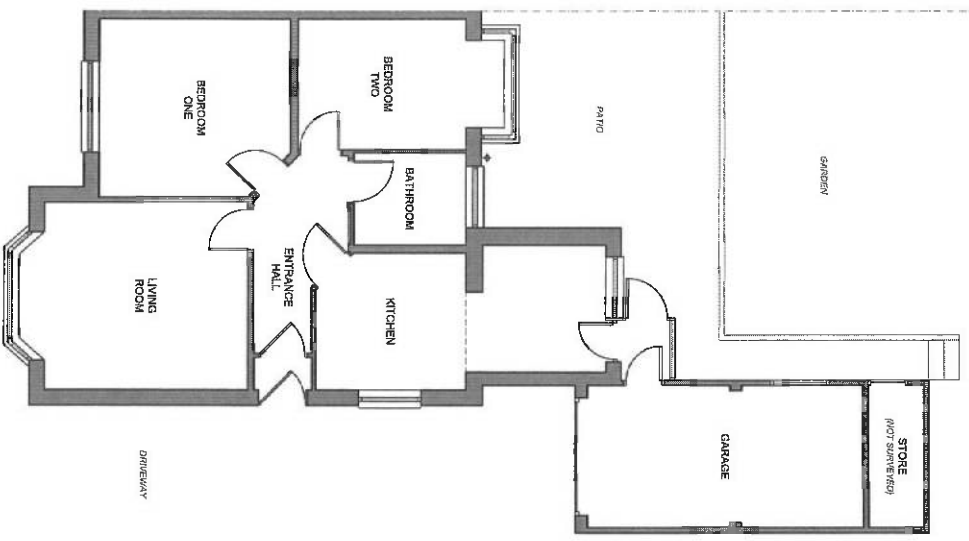
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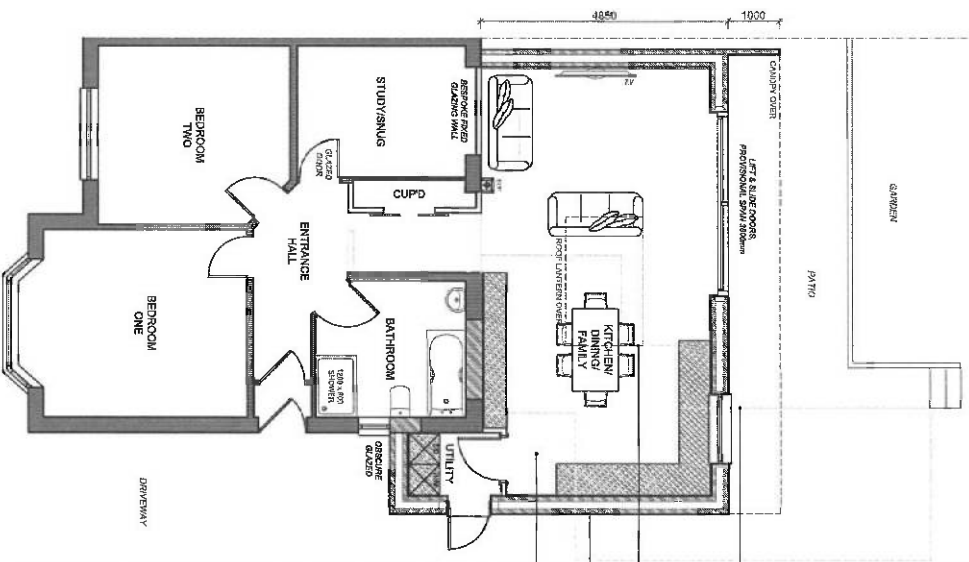
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PLEASE NOTE THAT ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS



EXISTING
GROUND FLOOR PLAN
INTERNAL AREA - 66 SQM (710 SQFT)



PROPOSED
GROUND FLOOR PLAN
INTERNAL AREA - 85 SQM (923 SQFT)

Planning proposals are for illustrative purposes only and as such are subject to other data investigation. Planning proposals may be based on underpinments of existing buildings. The contractor is to verify all dimensions and levels prior to work commencing. No liability will be accepted for amendments made by other persons. The contractor is to check and verify ALL dimensions and levels prior to work commencing.

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106 Southfield Road, Duxton,
Northampton, NN5 6HJ

Existing Plans & Proposed Plans
A23 - 275 - 001 Rev B
Scale 1:100 @ A3

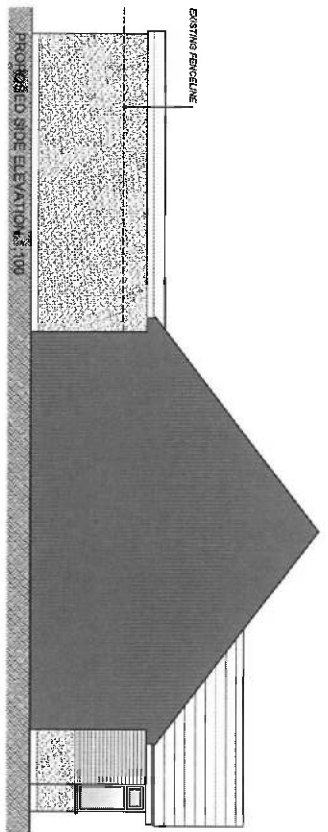
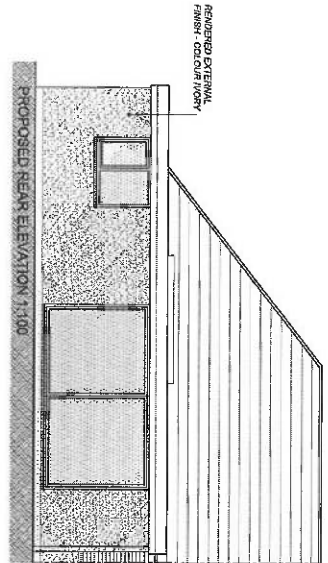
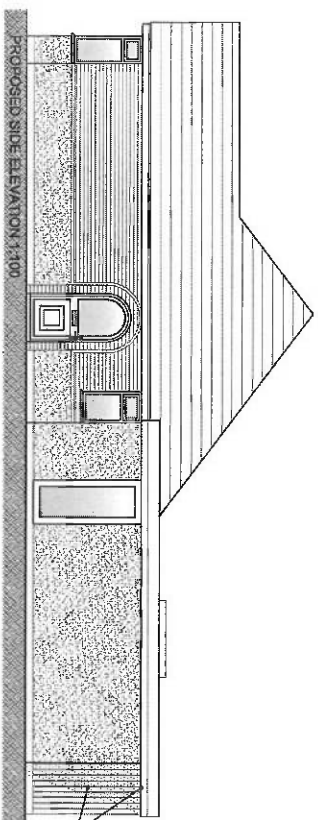
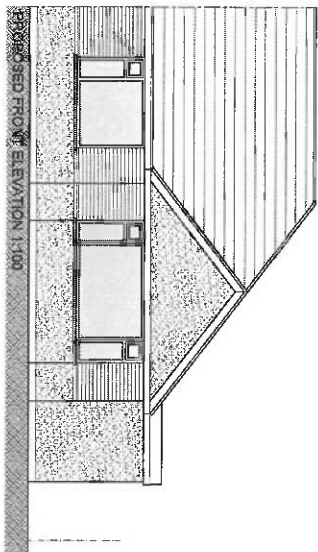


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Telephone: 01603 755424
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106 Southfield Road, Duston,
Northampton, NN5 6HJ

Proposed Elevations
A23 - 275 - 003
Scale 1:100 @ A3

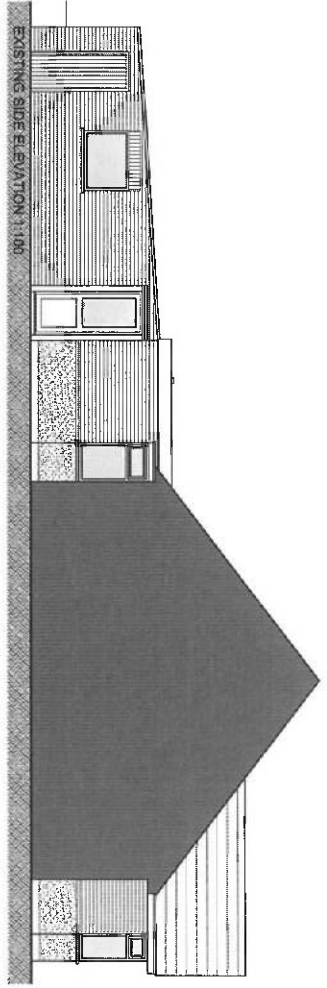
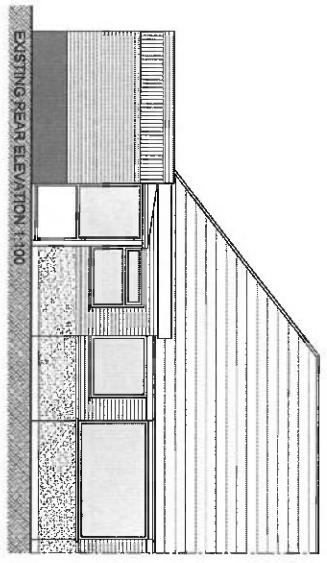
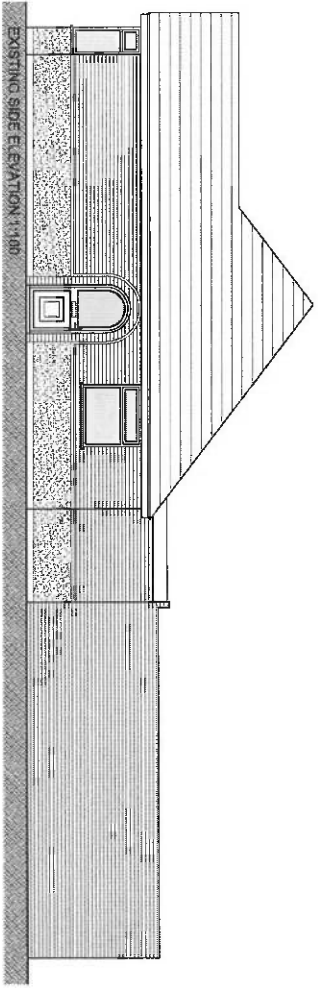
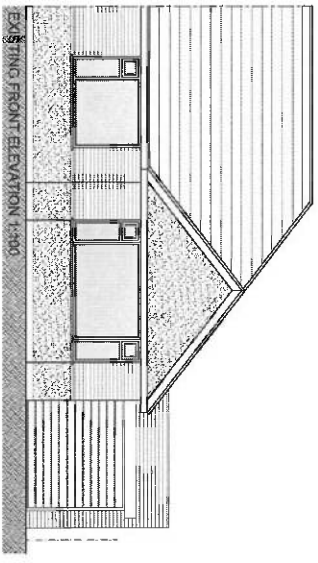


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A Green Lodge, Barn,
Kilnwick, Northampton,
NN5 6JH
Telephone 0783 525 723
2250093@avead.co.uk



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The contractor is to comply with all current Building Legislation whether or not specifically stated on this drawing. The drawing must be read with and checked against the relevant Building Regulations. ANY DISCREPANCIES TO BE REPORTED TO AVENUE ARCHITECTURAL DESIGN LTD IMMEDIATELY. Avenue Architectural Designs United Company Number 1171821

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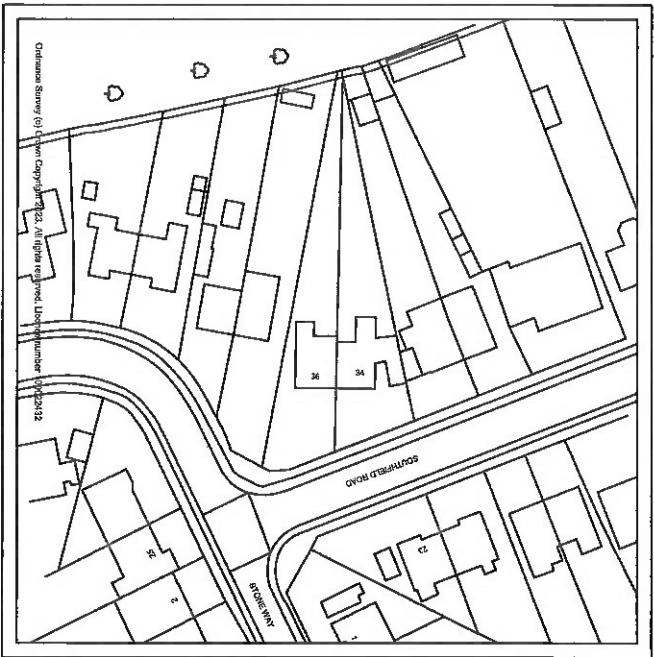
Existing Elevations
A23 - 275 - 002
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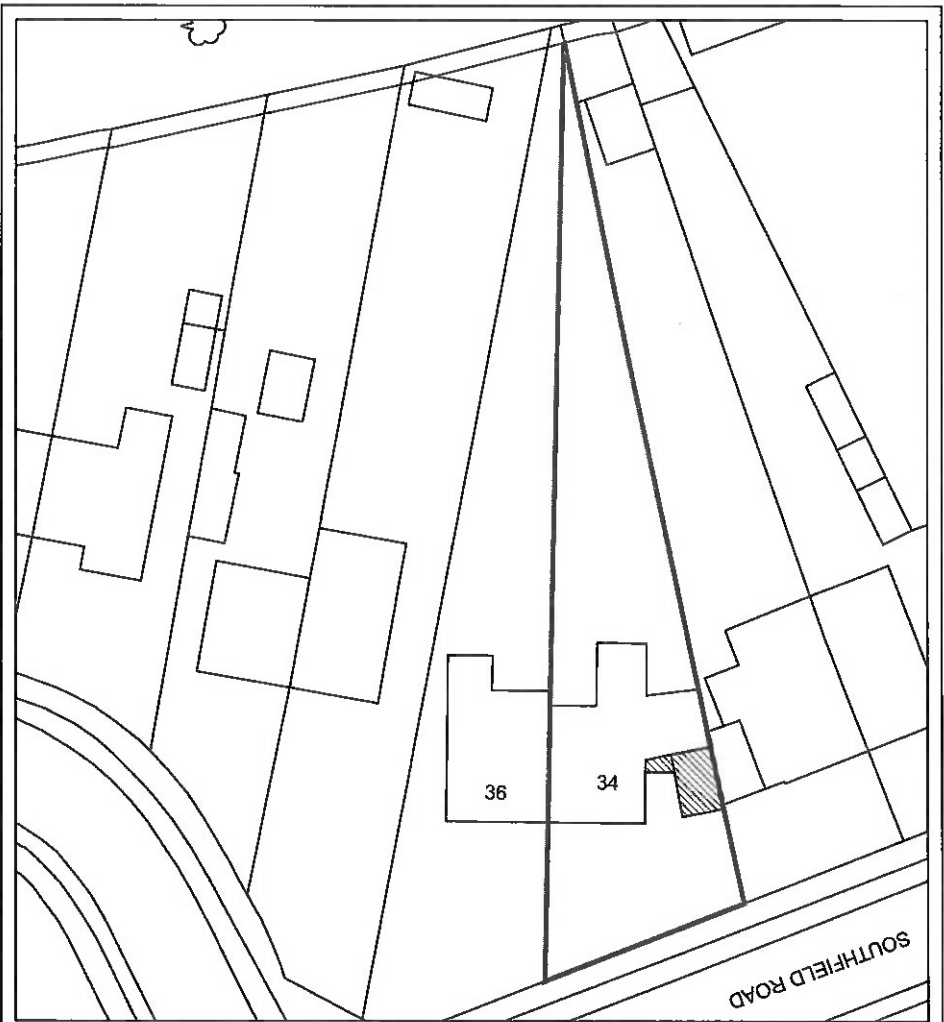
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www@avenuedesign.co.uk

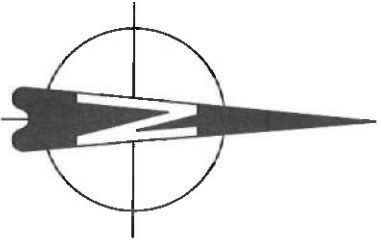
C) 2024/0463/FULL - 34 Southfield Road Northampton NN5 6HN –
Conversion of a garage to a dining room; porch extension; alterations



LOCATION PLAN
1:1250



BLOCK PLAN
1:500



NOTES

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Work to grant dimensions only. All dimensions to be checked and verified by the contractor. The contractor is to check and verify all building and site dimensions, levels and sewer, vent levels at connection points with current building legislation, plans, structural specifications, Building Regulations, Construction Design & Management (CDM) regulations and any other relevant legislation. The contractor must be satisfied that all dimensions and levels are correct and checked against all relevant legislation and Architect drawings and all other possible documentation.

The drawing is not intended to show details of ground conditions or ground constraints. Each use of ground related to support any structure depicted (including foundations, walls, retaining walls, etc.) must be based on a geotechnical investigation or other suitable report. A Structural Engineer needs to be consulted to design the stability of the proposed wall retaining/existing wall and to ensure the existing structure to verify that it and its foundation is adequate to carry the additional loading to be placed upon it by the proposed structure.

Materials to be used and their order of priority must be agreed with the contractor and the architect.

A qualified Consultant will be required to carry out calculations to prove compliance with Part 1 of the Building Regulations.

These drawings are prepared for the purpose of providing a guide only and are to be used as a guide only. They are not to be relied upon for any other purpose. They are not to be used as a guide only. They are not to be used as a guide only. They are not to be used as a guide only.

THESE DRAWINGS ARE PREPARED FOR THE PURPOSE OF PROVIDING A GUIDE ONLY AND ARE NOT TO BE USED AS A GUIDE ONLY.

Rev.	Description	Date

Title
Location and Block Plan

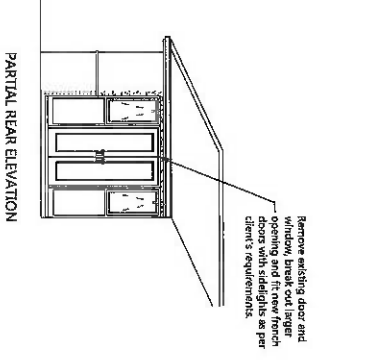
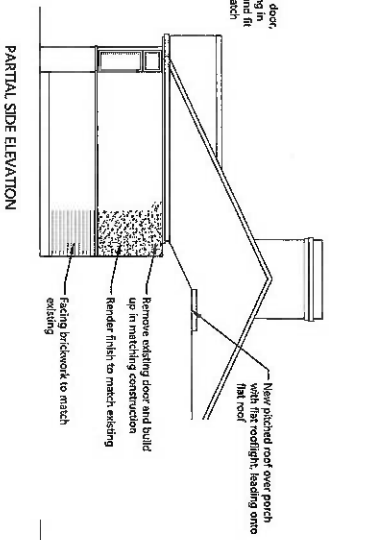
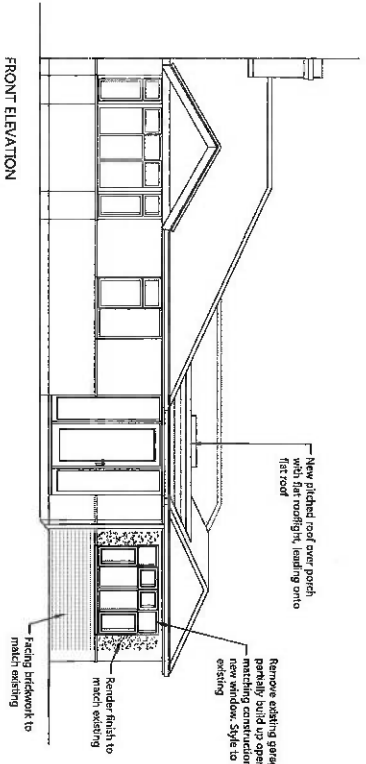
Project
Proposed garage conversion, porch extension and internal alterations

Site
34 Southfield Road
KNS 6HN

Drawn NMS/ES/1503/23
Checked NMS/ES/1503/24
Drawn By: NMS
Checked By: ES

EIS Architecture Design

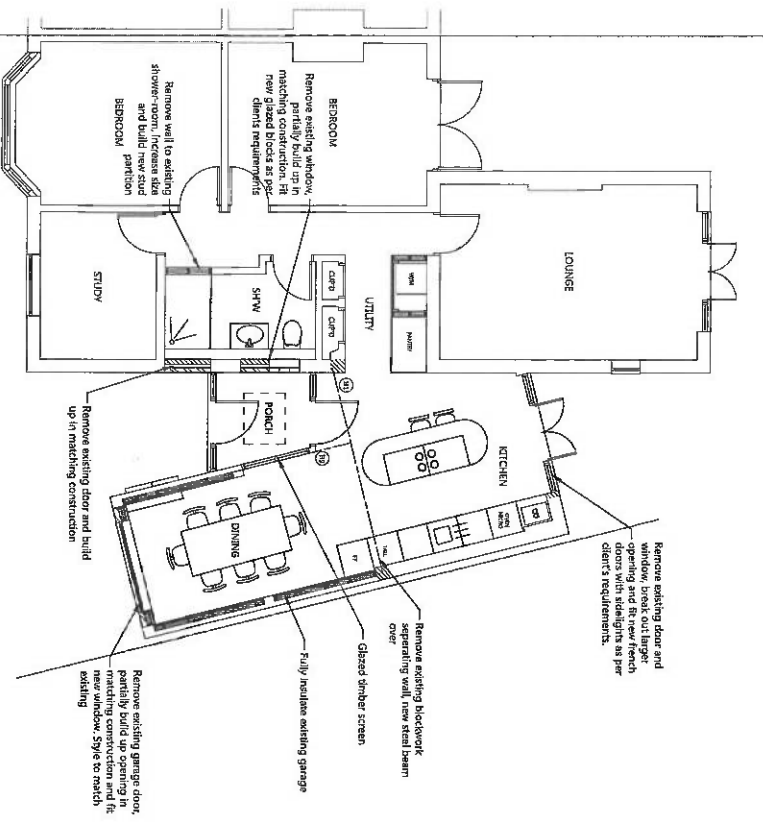
3 North, Parkway Close, Round Square, Nottingham, NG3 8BQ
Small: info@eisarchitecturaldesign.com
Tel: 01904 487886



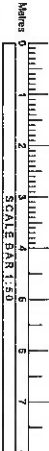
FRONT ELEVATION

PARTIAL SIDE ELEVATION

PARTIAL REAR ELEVATION



GROUND FLOOR PLAN



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2. Work to given dimensions only. All dimensions to be checked on site. Any discrepancies to be discussed and agreed with the client before commencement of work.

3. The contractor is to check and verify all building and site dimensions, levels and levels in relation to existing and proposed work. The contractor is to comply in all respects with the Building Regulations, Construction (Design & Management) Regulations, Party Wall Act etc, whether or not they are specifically mentioned in the contract documents. The contractor shall be responsible for obtaining all necessary consents and approvals from the relevant authorities and for ensuring that the work is carried out in accordance with all relevant legislation and standards.

4. A Structural Engineer needs to be contacted to design the stability of the proposed wall and existing existing and adjacent. This may affect the report as shown. The engineer's consultation is adequate to carry the additional loading to be placed upon it. It is the contractor's responsibility to ensure that all works to be carried out in accordance with current building regulations and standards. A specialist consultation will be required to carry out calculations to prove compliance with part of the building regulations.

5. The dimensions given on the drawing are for reference only. The contractor is to check and verify all building and site dimensions, levels and levels in relation to existing and proposed work. The contractor is to comply in all respects with the Building Regulations, Construction (Design & Management) Regulations, Party Wall Act etc, whether or not they are specifically mentioned in the contract documents. The contractor shall be responsible for obtaining all necessary consents and approvals from the relevant authorities and for ensuring that the work is carried out in accordance with all relevant legislation and standards.

THESE DRAWINGS ARE PREPARED FOR THE PURPOSE OF A PLANNING APPLICATION ON APPROVAL UNDER SECTION 73 OF THE PLANNING ACT 1990 AND DO NOT FALL WITHIN THE DEFINITION OF A BUILDING REGULATION DRAWING.

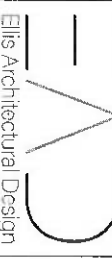
Rev.	Description	Date

Title
Proposed Plans and Elevations

Project
Proposed garage conversion, porch extension and internal alterations

Site
35 Southfield Road
NNS 6LN

Drawing No: SE/18/022
Date: 31/12/23 Scale: 1:50 @ A1
Drawn By: NI Checked By: SE



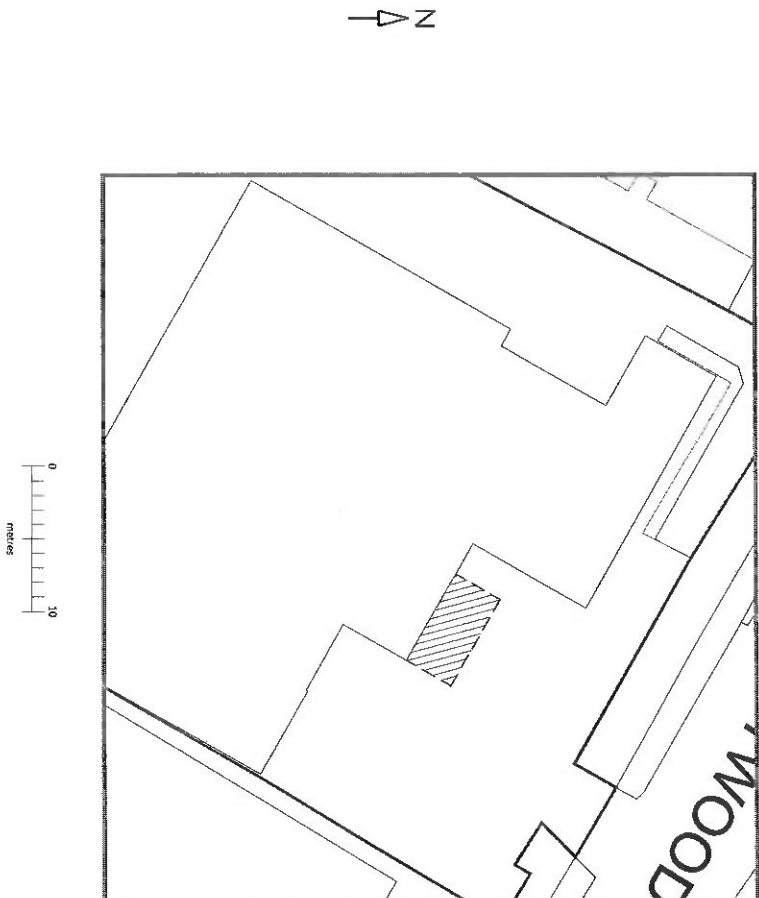
Ellis Architectural Design
5 North Trinity Drive, Round Green, Northampton, NN4 8AQ
Phone: 01603 610000
Email: enquiries@ellisarchitecturaldesign.co.uk
Website: www.ellisarchitecturaldesign.co.uk

d) 2024/0488/FULL - Industrial Rehabilitation Unit Berrywood Road
Northampton NN5 6XA – Single storey front extension to house
coffee shop & insertion of window to rear elevation.

OS MAP - SCALE 1:1250

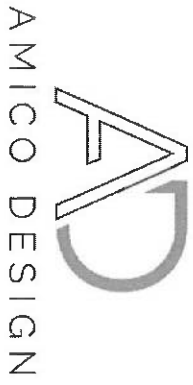


BLOCK PLAN - SCALE 1:500



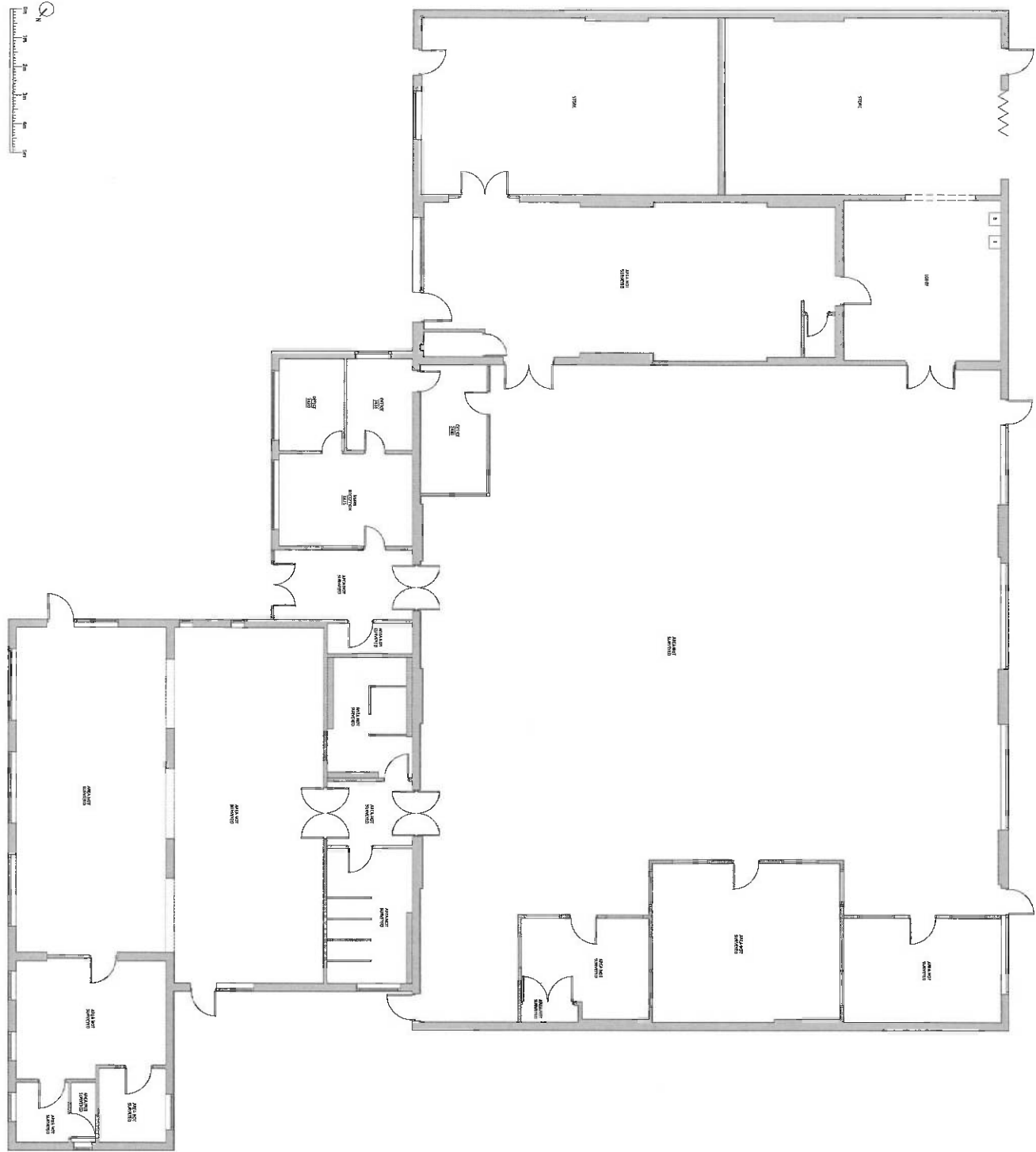
REV.	FIRST ISSUE	CR	20/11/23
	DESCRIPTION:	BY	DATE
STATS			
PLANNING			
CLIENT: SPECTRUM NORTHANTS LIMITED			

Amico Design Limited
 Farriers Barn, Station Farm, Denton Road,
 Northamptonshire, NN17 2BG
 01604 871809



hello@amicodesign.co.uk
 www.amicodesign.co.uk

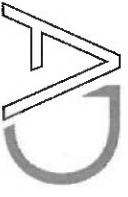
SCALE AT/A4	DATE	DRAWN	CHECKED
1:1250/1:500	20/11/23	QR	GB
PROJECT NO:	DRAWING NO:	REVISION	
23142	AD-OS	-	



Notes:

General Notes:
 1. All dimensions are taken from the face of the work unless otherwise specified.
 2. All measurements are taken from the face of the work unless otherwise specified.
 3. All measurements are taken from the face of the work unless otherwise specified.
 4. All measurements are taken from the face of the work unless otherwise specified.
 5. All measurements are taken from the face of the work unless otherwise specified.
 6. All measurements are taken from the face of the work unless otherwise specified.
 7. All measurements are taken from the face of the work unless otherwise specified.
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 9. All measurements are taken from the face of the work unless otherwise specified.
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REV.	DESCRIPTION:	BY:	DATE:
01	FIRST ISSUE	XX	DD/MM/YY
02	DRAFT		



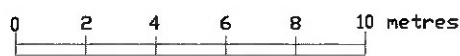
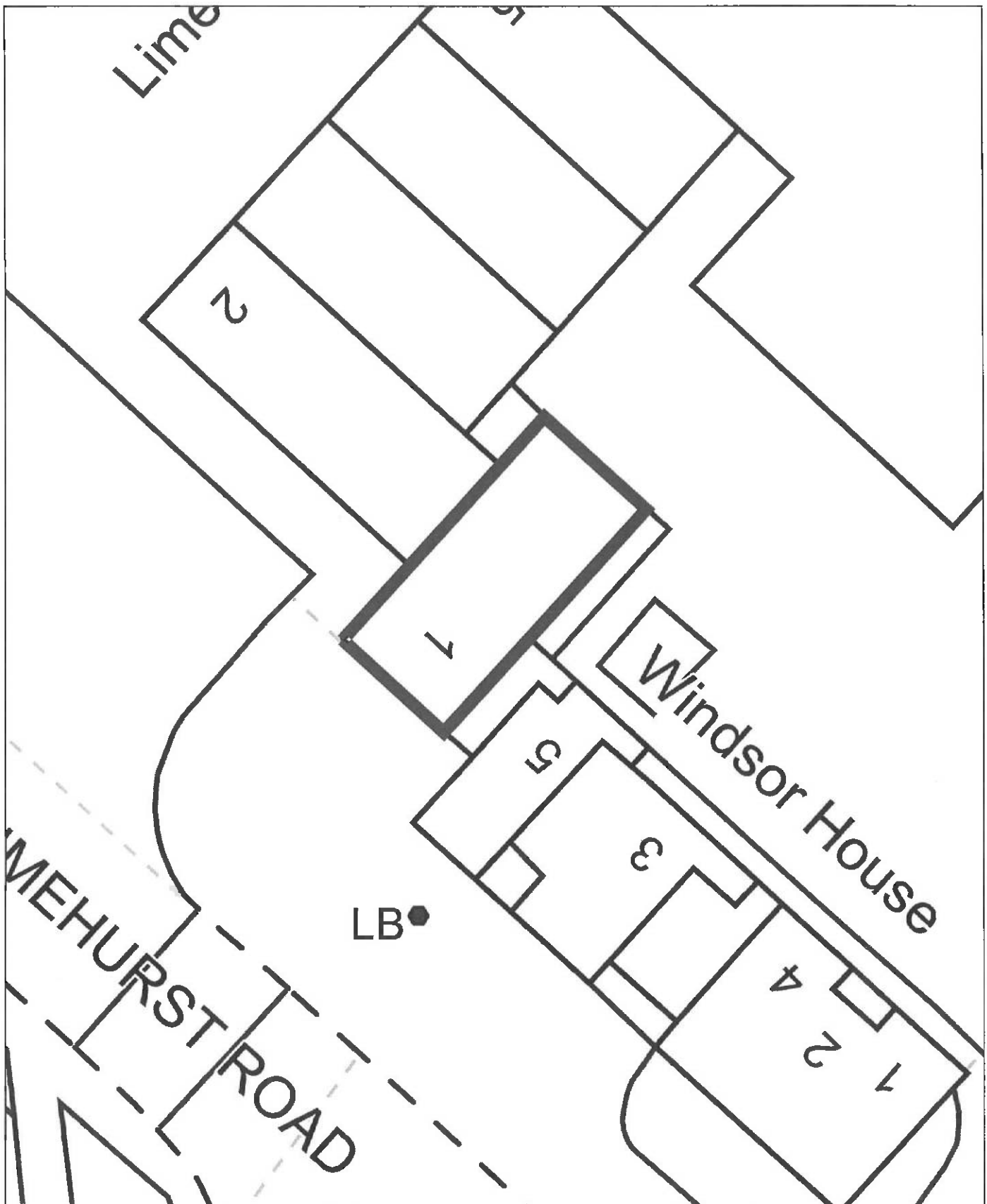
AMICO DESIGN

Amico Design Limited
 Farmers Barn, Station Farm, Denton Road,
 Northamptonshire, NN7 2BG
 01604 871809
 hello@amico-design.co.uk
 www.amico-design.co.uk

Client: **SPECTRUM NORTHANTS LIMITED**
 Project: **BERRYWOOD ROAD, DUSTON, NNS5 6XA**
 Drawing Title: **EXISTING FLOOR PLANS**

SCALE: 1:100	DRAWN: HK	CHECKED: GB
DATE: 09/10/23	REVISED: -	
DRAWING NO: 23142	PROJECT NO: AD-00-01	

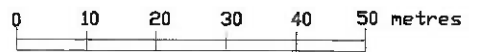
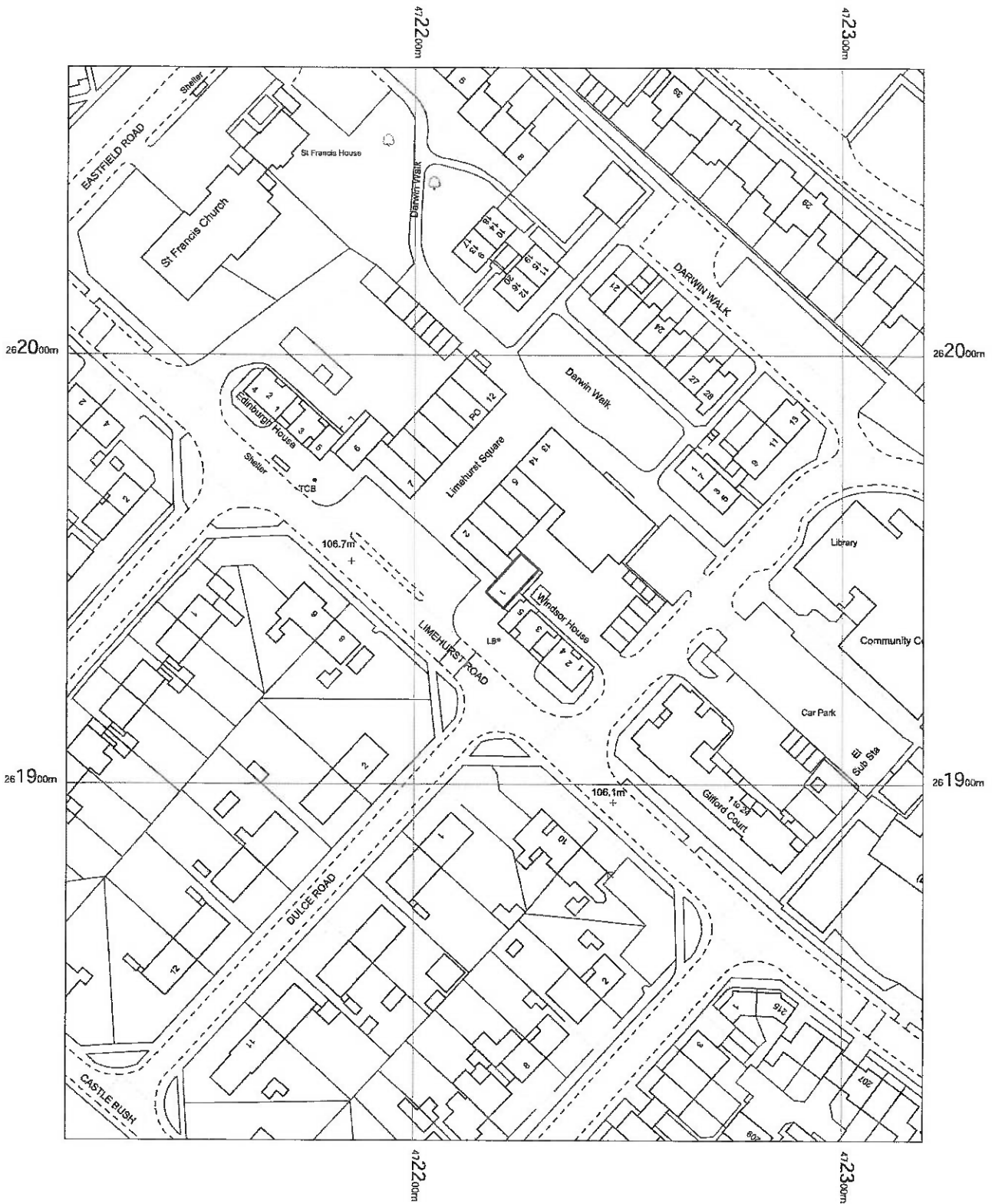
e) 2024/0477/FULL - Shop 1 Limehurst Square Northampton NN5 6LP
– Change of Use from a Veterinary Practice to Use Class E



**northern
planners**
A trading name of Eneagize Ltd

1 Limehurst Square, Northampton

Title: Site Plan	Date: Nov 2023
Drawing No: 23NP496/01/002	Scale: 1:200
Size: A4	Format: PDF
Sheet: 1	Rev: A



OS MasterMap 1250/2500/10000 scale
 Monday, November 13, 2023, ID: BW1-01135429
 maps.blackwell.co.uk

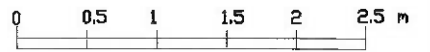
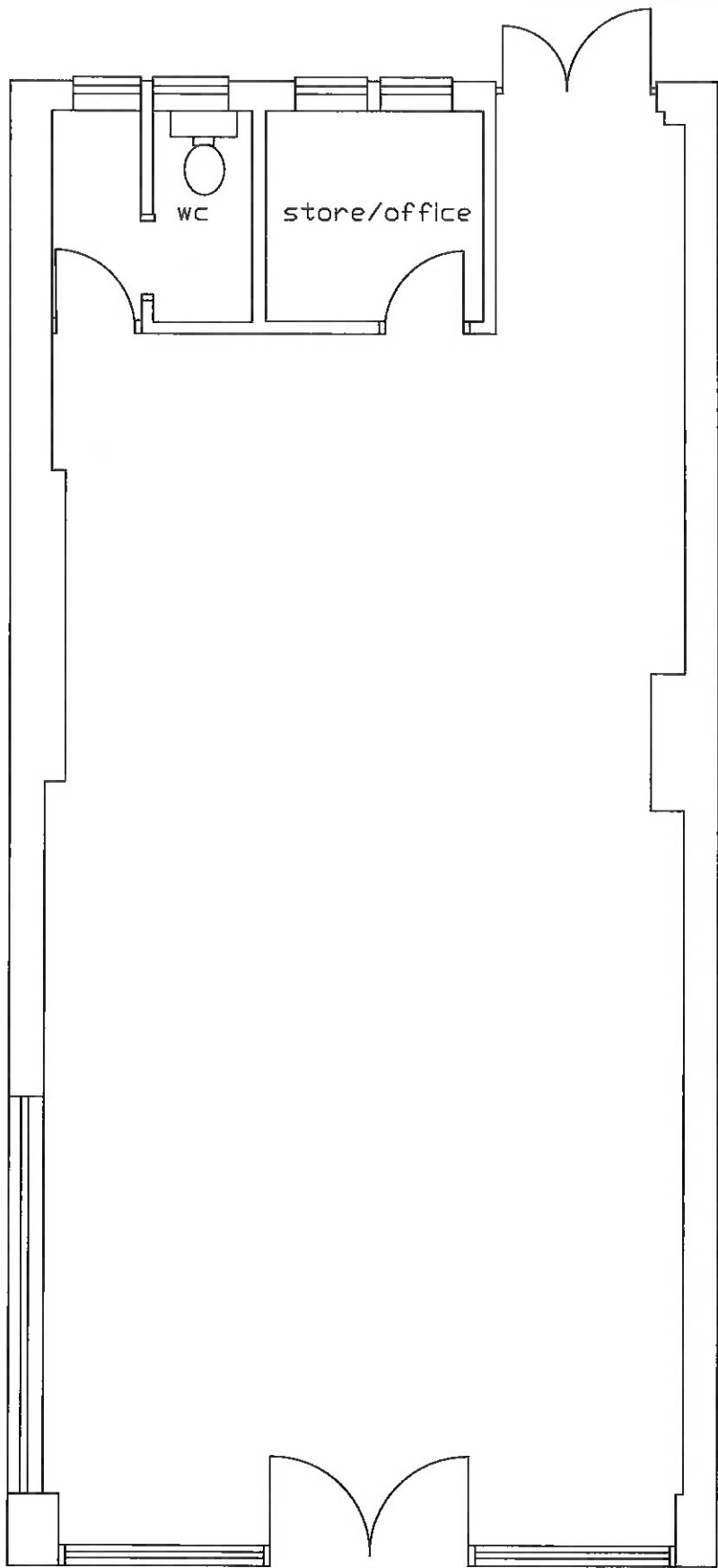
1:1250 scale print at A4, Centre: 472219 E, 261942 N

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**northern
 planners**
 A trading name of Energize Ltd

1 Limehurst Square, Northampton

Title:	Location Plan	Date:	Nov 2023
Drawing No.:	23NP496/01/001	Scale:	1:1250
Site:	A4	Format:	PDF
		Sheet:	1
		Rev:	A



**northern
planners**
A trading name of Enspace Ltd

1 Limehurst Square, Northampton

Title: Existing/Proposed Floor Plans	Date: Nov 2023
Drawing No. 23NP496/01/003	Scale: 1:50
Size: A4	Format: PDF
Sheet: 1	Rev: A

f) 2024/0593/FULL - 112 Main Road Duston Northampton NN5 6RA –
Construction of two storey and single storey rear extension

No developer may be made liable for the design or construction of the building or any other structure or works on the site without the permission of the Council.

Any development found to be in breach of the planning and any other relevant legislation shall be deemed to be in breach of the provisions of the Act and shall be subject to the provisions of the Act.

All drawings shown on this plan are provisional and may require on-site confirmation with the Building Control Department.

All work must be carried out in accordance with the Building Regulations and any other relevant legislation.

Structural steelwork must be protected in accordance with the relevant standards for fire protection.

Structural steelwork must be protected in accordance with the relevant standards for fire protection.

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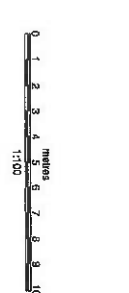
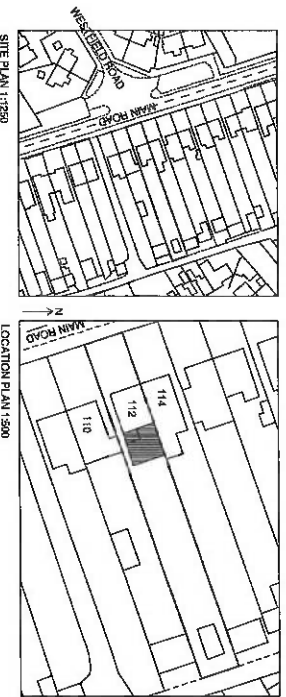
Structural steelwork must be protected in accordance with the relevant standards for fire protection.

Structural steelwork must be protected in accordance with the relevant standards for fire protection.

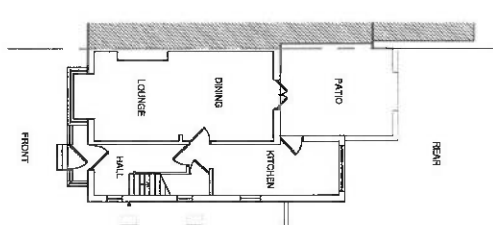
Structural steelwork must be protected in accordance with the relevant standards for fire protection.

Structural steelwork must be protected in accordance with the relevant standards for fire protection.

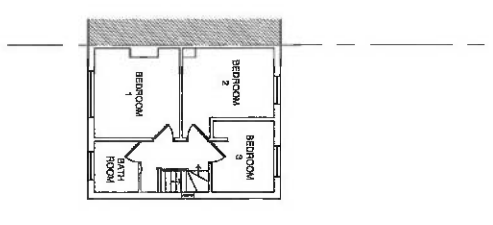
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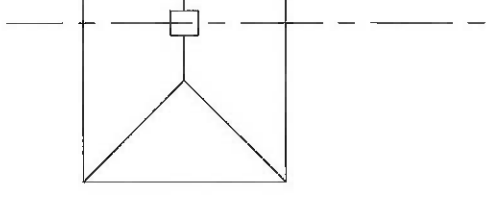
- Materials:**
 - Red facing Bricks
 - White UPVC Doors & Windows
 - Grey Cement tiles
- Finishes:**
 - Bitexwork to match existing
 - White UPVC doors & windows
 - Grey Cement tiles



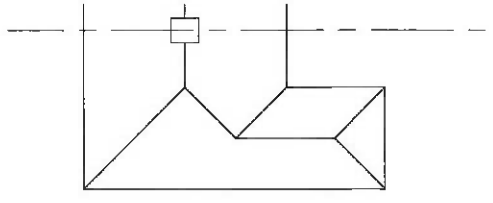
EXISTING GROUND FLOOR PLAN
1:100



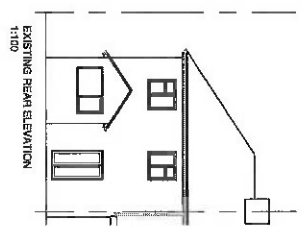
EXISTING FIRST FLOOR PLAN
1:100



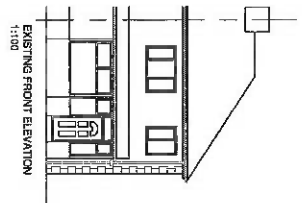
EXISTING ROOF PLAN
1:100



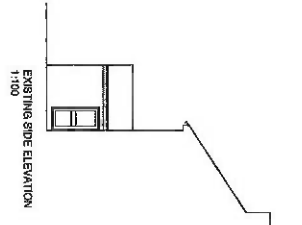
PROPOSED ROOF PLAN
1:100



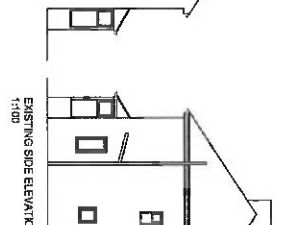
EXISTING REAR ELEVATION
1:100



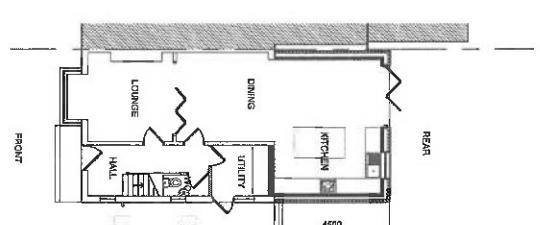
EXISTING FRONT ELEVATION
1:100



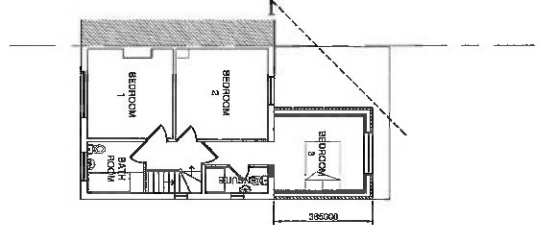
EXISTING SIDE ELEVATION
1:100



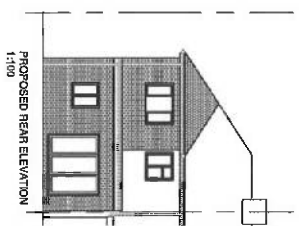
EXISTING SIDE ELEVATION
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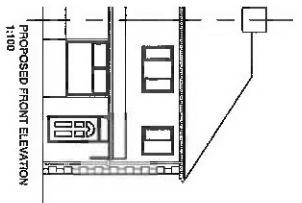
PROPOSED GROUND FLOOR PLAN
1:100



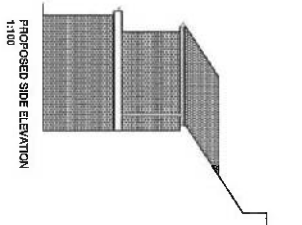
PROPOSED FIRST FLOOR PLAN
1:100



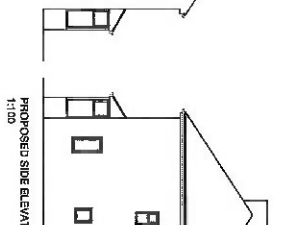
PROPOSED REAR ELEVATION
1:100



PROPOSED FRONT ELEVATION
1:100



PROPOSED SIDE ELEVATION
1:100



PROPOSED SIDE ELEVATION
1:100



design board
ARCHITECTURAL SERVICES

20 The Green, Colne
West Yorkshire
WF13 7JG
Tel: 01937 546464
E: info@designboard.co.uk

CLIENT
114 MAIN ROAD
NORTHAMPTON
NN5 8BA

TITLE
TWO STOREY REAR EXTENSION
INC. PART SINGLE STOREY
EXTENSION

DRAWING
EXISTING AND PROPOSED
PLANS & ELEVATIONS
INC. SITE LOCATION PLAN

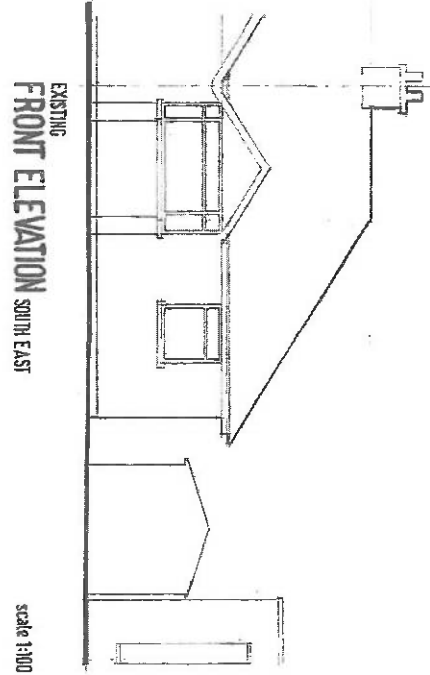
DRWG NO. 424-10-01

SCALE 1:100

DATE NOV 2024

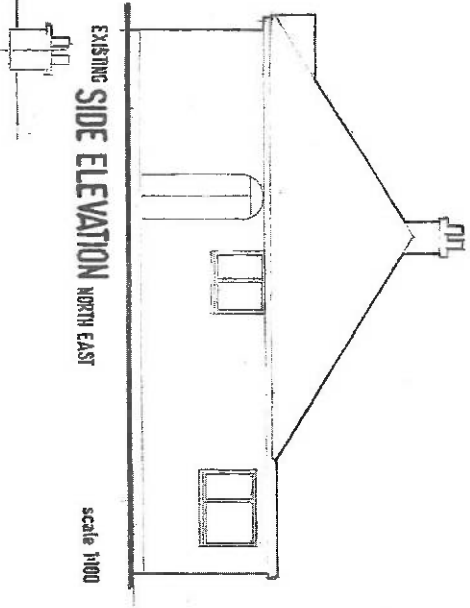
g) 2023/8021/FULL - 119 Southfield Road Northampton NN5 6HJ – Demolition of existing garage at front; Construction of single storey extension at side; construction of front entrance; Replace flat roof with pitched roof at rear; alteration

REVISIONS



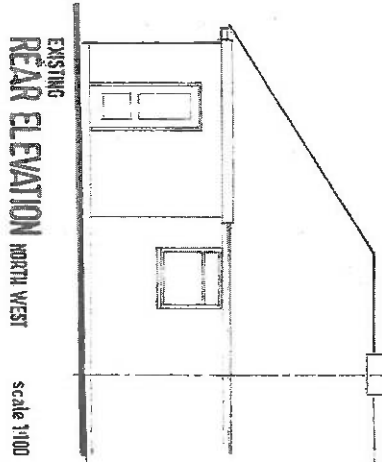
EXISTING
FRONT ELEVATION SOUTH EAST

scale 1:100



EXISTING
SIDE ELEVATION NORTH EAST

scale 1:100



EXISTING
REAR ELEVATION NORTH WEST

scale 1:100



LOCATION PLAN
SCALE 1:1250



BLOCK PLAN
SCALE 1:500

All dimensions, levels and grades to be checked and verified on site. All construction work to conform to The Building Regulations 2000 and subsequent amending regulations. **DO NOT SCALE.** If in doubt ask.

**PROPOSED EXTENSION AT
119 SOUTHFIELD ROAD,
DUSTON, NORTHAMPTON,
NN5 6HJ.**

**Existing elevations, Block
and Location plans.**

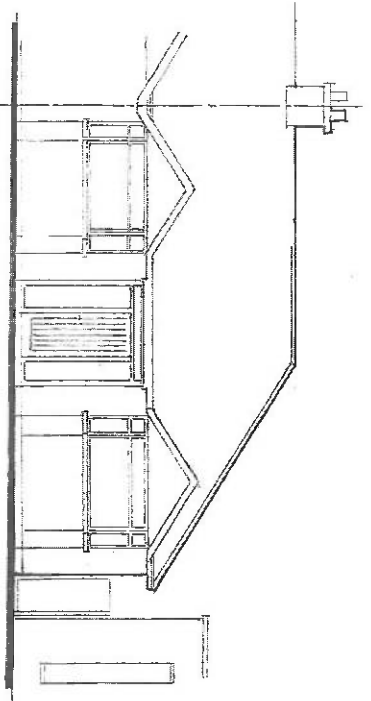
Drawing Number:
DRH.1523.1

DRH Architectural Design
46 The Lawns, Northampton, NN5 6AF
01604 949338 07971 710299
Dhrarch7@gmail.com

Scale: as stated

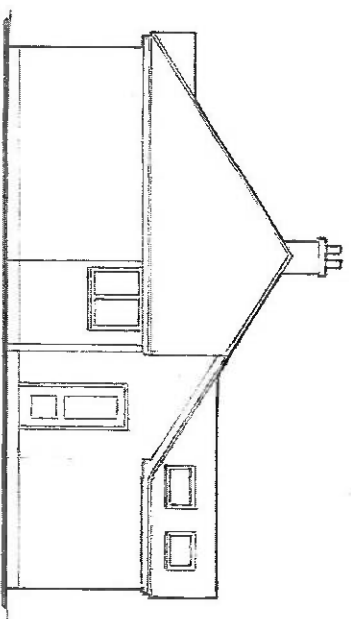
061 2023

REVISIONS
A Side elevation changed to show "cut off" roof. Pitched roof added to kitchen extension, incorporating roof lights.



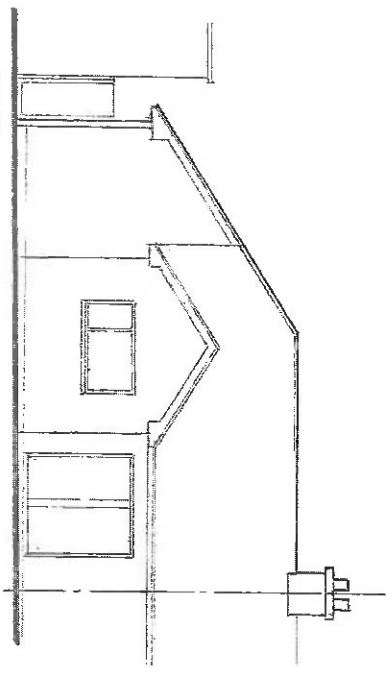
PROPOSED
FRONT ELEVATION SOUTH EAST

scale 1:100



PROPOSED
SIDE ELEVATION NORTH EAST

scale 1:100



PROPOSED
REAR ELEVATION NORTH WEST

scale 1:100

All dimensions, levels and grades to be checked and verified on site. All construction work to conform to The Building Regulations 2000 and subsequent amending regulations. DO NOT SCALE. If in doubt ask.

**PROPOSED EXTENSION AT
119 SOUTHFIELD ROAD,
DUSTON, NORTHAMPTON,
NN5 6HL.**

Proposed elevations.

Drawing Number:
DRH-1523-4A

DRH Architectural Design
46 The Lawns, Northampton, NN5 6AF
01604 949338 07971 710299
Drharcht@gmail.com

Scale: as stated Oct 2023

REVISIONS

All dimensions, levels and grades to be checked and verified on site.
All construction work to conform to The Building Regulations 2000 and subsequent amending regulations.
DO NOT SCALE. If in doubt ask.

**PROPOSED EXTENSION AT
119 SOUTHFIELD ROAD,
DUSTON, NORTHAMPTON.
NN5 6HJ.**

Existing ground floor plan.

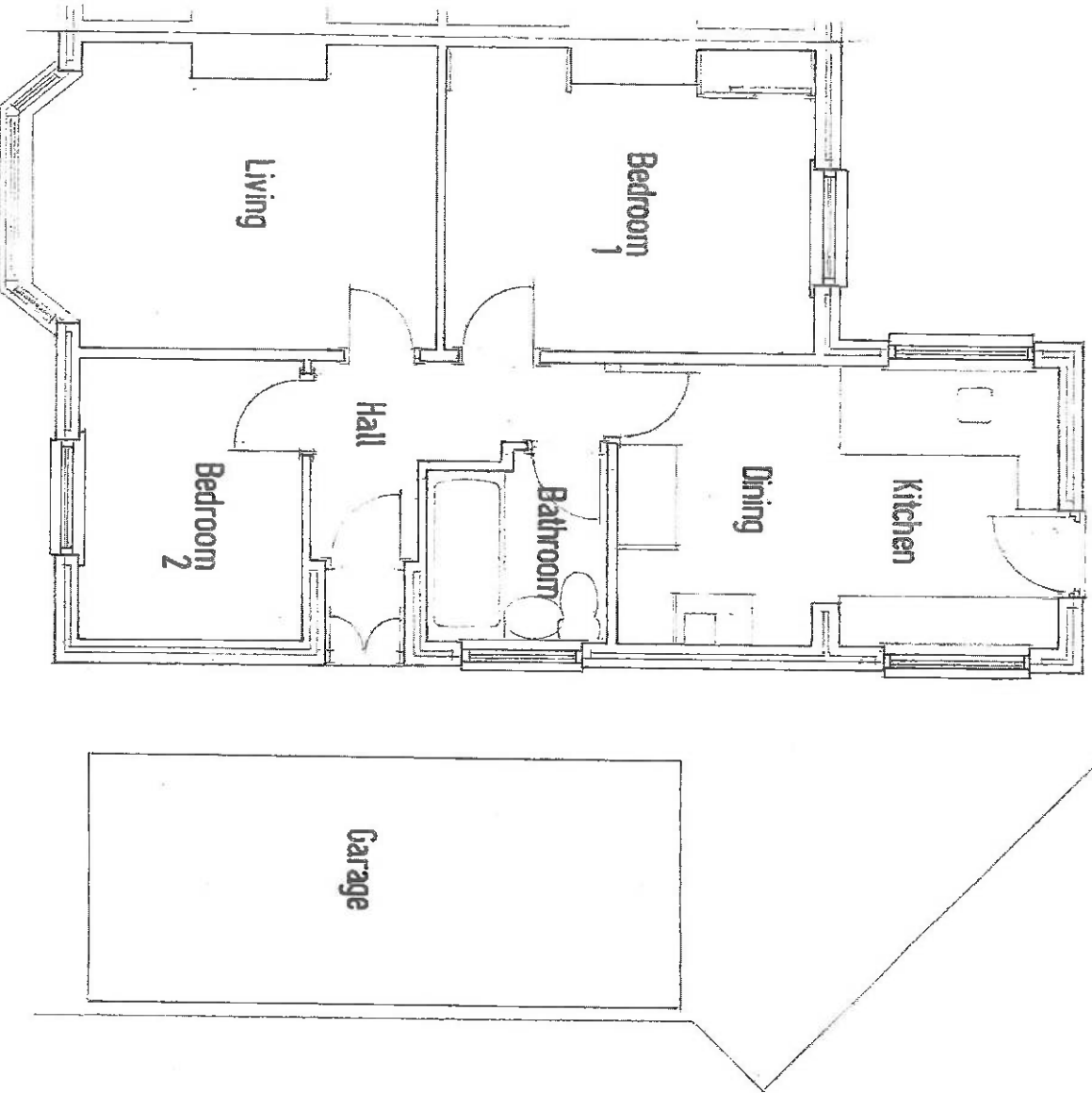
Drawing Number:

DRH-1523-2

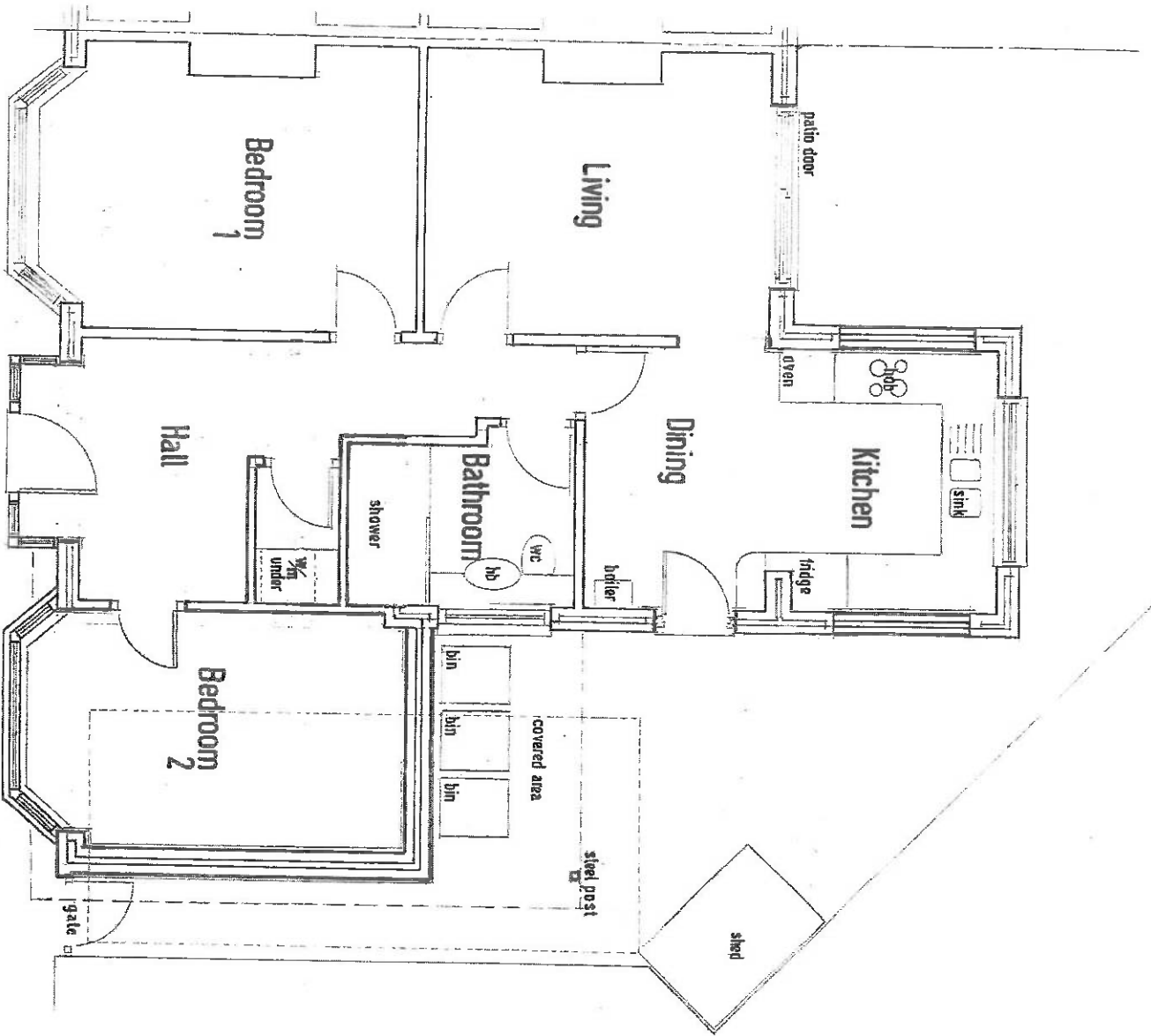
DRH Architectural Design
46 The Lawns, Northampton, NN5 6AF
01604 949338 07071 710299
drharch1@gmail.com

Scale: as stated

Oct 2023



EXISTING GROUND FLOOR PLAN scale 1:50



PROPOSED GROUND FLOOR PLAN scale 1:50

REVISIONS

A. Existing entrance area changed to incorporate a cloakroom and utility area. Bath removed and replaced with large walk in shower. Hall reduced in size. Reduced opening between living and dining. Covered area reduced.

All dimensions, levels and grades to be checked and verified on site. All construction work to conform to The Building Regulations 2000 and subsequent amending regulations. DO NOT SCALE. If in doubt ask.

**PROPOSED EXTENSION AT
119 SOUTHFIELD ROAD,
DUSTON, NORTHAMPTON.
NN5 6HL.**

**Proposed ground floor
plan.**

Drawing Number:

DRH-1523-3A

DRH Architectural Design
40 The Lawns, Northampton, NN5 6AF
01604 949338 07971 710299
drharch7@gmail.com

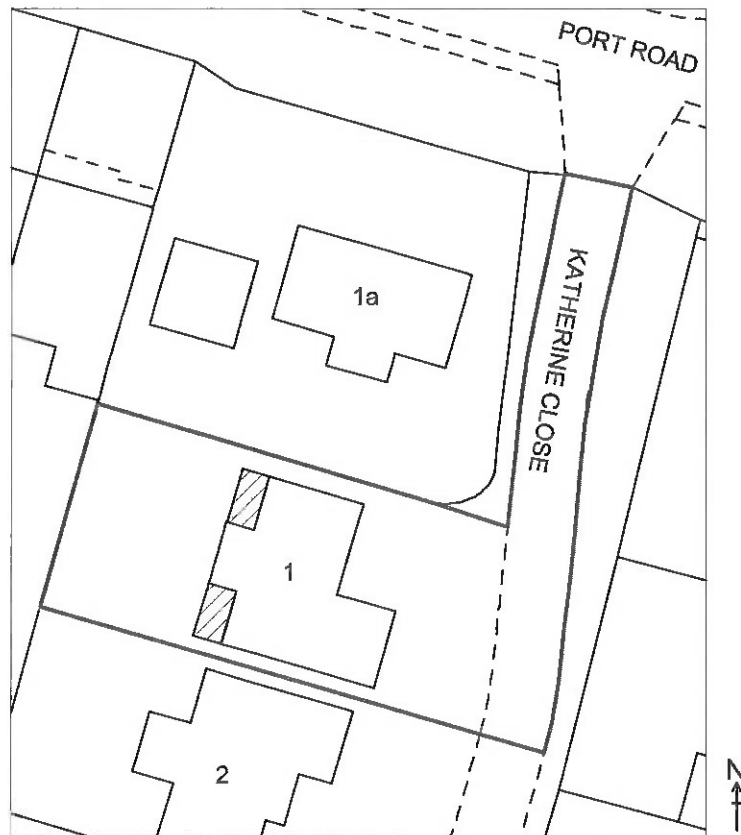
Scale: as stated

Oct 2023

h) 2024/0662/FULL - 1 Katherine Close Northampton NN5 6GS –
Single storey side and rear extensions



LOCATION PLAN - Scale 1:1250



SITE PLAN - Scale 1:500

 Proposed Extension



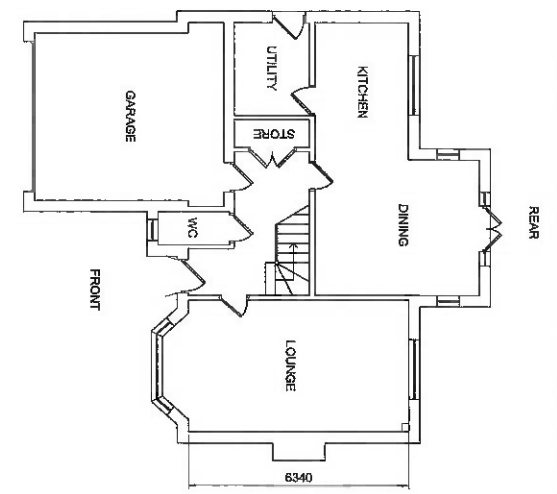
design board
architectural services

25 Pine Copse Lane
Northampton
NN5 6NF
Tel. 07983478260
info@design-board.co.uk

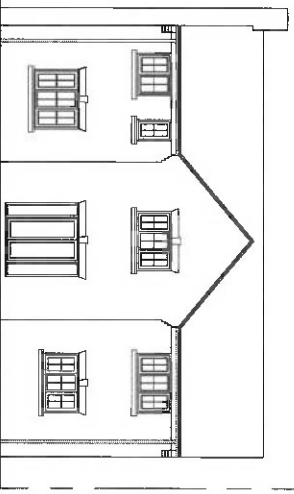
CLIENT
1 KATHERINE CLOSE
NORTHAMPTON
NN5 6GS

TITLE
SINGLE STOREY REAR
EXTENSION

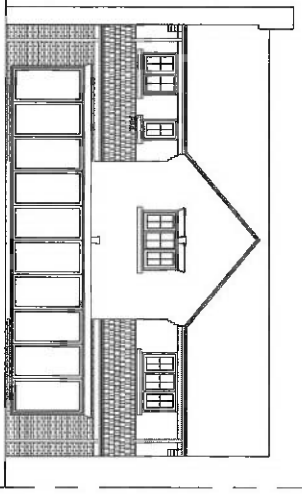
NOTES
A4 size
DRAWING No.
A23-109-SLP



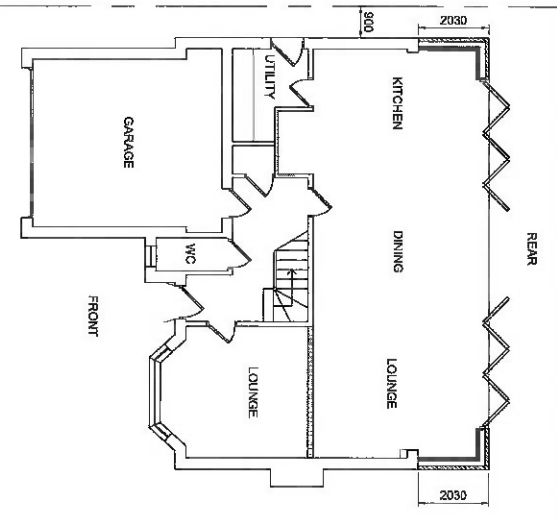
EXISTING GROUND FLOOR PLAN
Scale 1:100



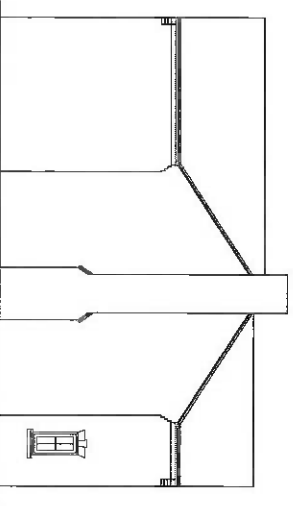
EXISTING REAR ELEVATION
Scale 1:100



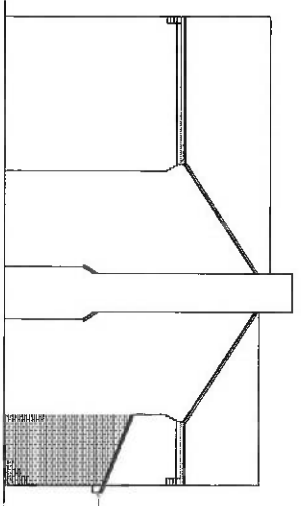
PROPOSED REAR ELEVATION
Scale 1:100



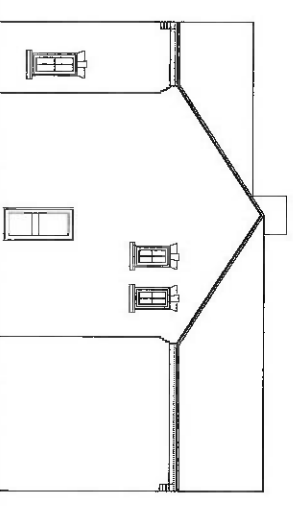
PROPOSED GROUND FLOOR PLAN
Scale 1:100



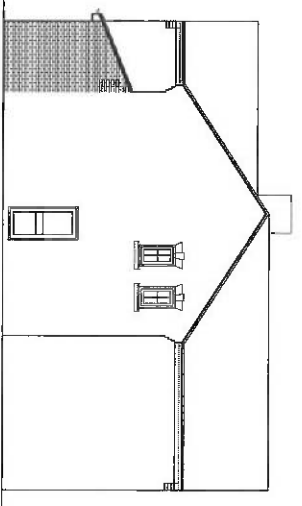
EXISTING SIDE ELEVATION
Scale 1:100



PROPOSED SIDE ELEVATION
Scale 1:100



EXISTING SIDE ELEVATION
Scale 1:100



PROPOSED SIDE ELEVATION
Scale 1:100



EXISTING MATERIALS:
Red Facing brickwork
Grey Concrete Tiles
White UPVC Windows & Door

PROPOSED MATERIALS:
Brickwork to match existing
Roof tiles to match existing
White UPVC Windows & Door

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No deviation may be made from the details shown on this drawing without the prior written permission of the office.

Any discrepancy found between this drawing and any other document should be referred immediately to the office.

Assumed Foul drainage & rain water Drain. To be confirmed on site by the Contractor.

All drainage shown on the plans is provisional and may require onsite approval with the Building Control Officer.

All rights described in Chapter IV of the Copyright, Designs and Patents Act 1988, have been generally asserted.

This drawings must be read in conjunction with and checked against all structural, specialist and central layout and engineering drawings.

This drawing should not be relied upon to give information on ground conditions and foundations.

The party Wall Act 1986.
The Provision of the party wall act 1986 are to be implemented which client shall be responsible neighbours are to be sent details (by hand) of proposed works and a copy of the method notes required by the Party Wall Act. A set of keys sent to communications of works.

28 Pine Grove Drive
Northampton
NN5 0PE
Tel: 01603 471850
info@design-board.co.uk

design board
ARCHITECTURAL SERVICES

CLIENT
1 KATHERINE CLOSE
NORTHAMPTON
NN5 6ES

TITLE
SINGLE STOREY REAR EXTENSION

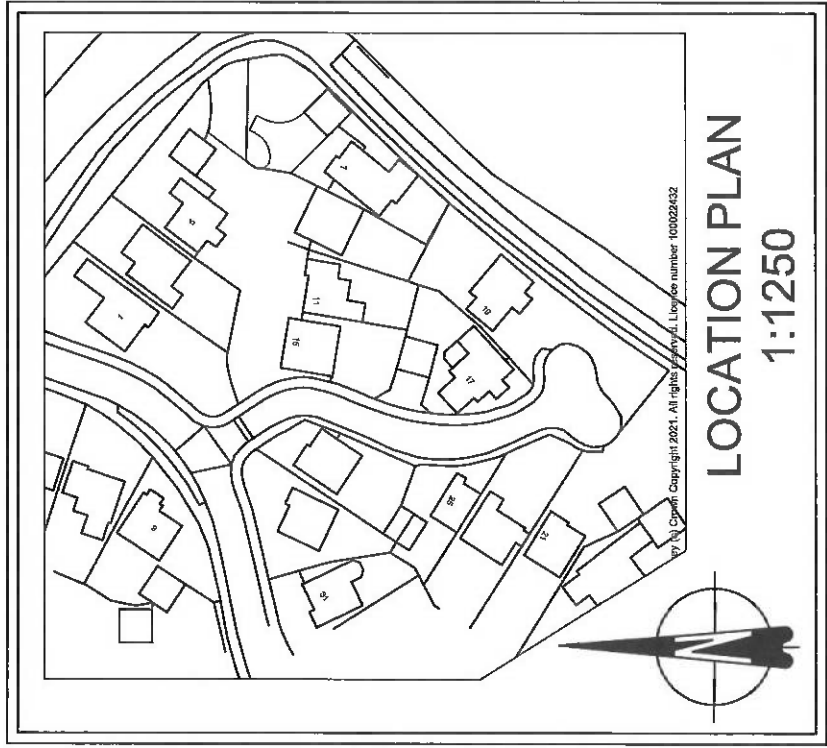
DRAWING
EXISTING & PROPOSED
PLANS & ELEVATIONS

DRWG NO A23-109-01
A2 Input

SCALE 1:100

DATE NOV 2023

i) 2024/0858/FULL - 7 Hawkstone Close Northampton NN5 6RZ –
Proposed new boundary wall



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The contractor is to check and verify all building and site dimensions, levels and sewer line levels at connection points before work starts. The Contractor is to comply in all respects with current Building Legislation, (Building & Management Regulations, Party Wall Act etc, whether or not specifically stated on this drawing. This drawing must be read with and checked against all relevant Engineers and Architects drawings and all relevant legislation.

This drawing is not intended to show details of ground conditions or ground contaminants. Each area of ground shall be investigated by the Contractor and any ground conditions on or within the ground shall be made known to the Engineer by suitable reports.

Do not scale. Work to given dimensions only.

A Structural Engineer needs to be engaged to design foundations and services below ground, and to ensure the stability of the proposal. Will be responsible for the design and design of spanning members made to be supported by the foundations. The Engineer is also to assess the existing structure to verify that it and its foundations is adequate to carry the additional loading to be placed upon it by the proposal.

A Specialist Consultant will be required to carry out calculations to prove compliance with Part L of the Building Regulations.

The drawings shown on this drawing are for the information purposes only. The drawings are not to be used for construction or to be recorded on site or in terms of the new build sections to be verified on working drawings.

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DESIGN

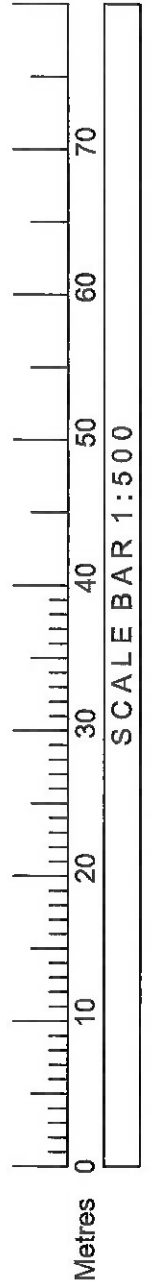
5 NORTH HAWKSTONE CLOSE, NORTH HAMPTON, MIDDLESEX, HA2 8JQ
Tel: 0181 871 2222
www.ellisarchitectural.com

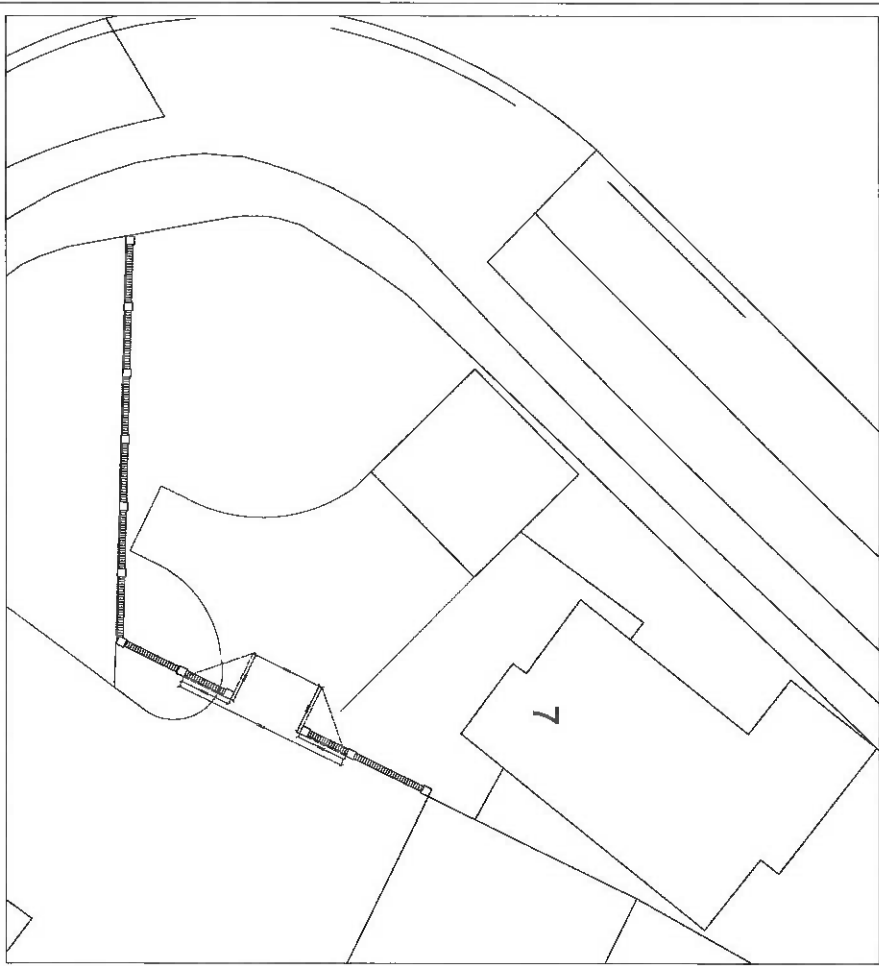
LOCATION AND BLOCK PLAN

NEW BOUNDARY WALL
7 HAWKSTONE CLOSE
NORTHAMPTON
NN6 6RZ

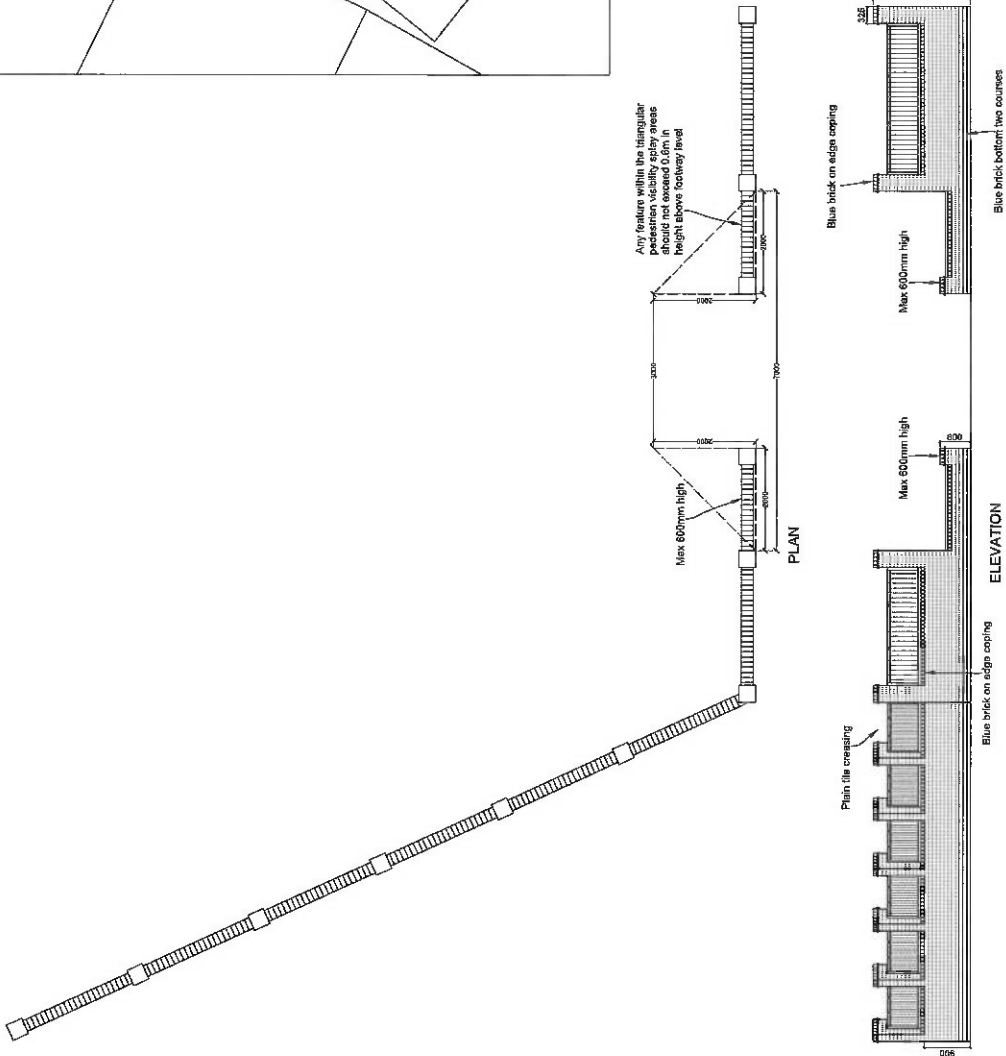
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DATE	03.08.2021	DRAWN BY:	L.C.

REVISION C: Amended following Clients comments. 28.11.21
REVISION B: Amended to suit vision splays. 17.11.21
REVISION A: Amended following Clients comments. 18.08.21





SITE PLAN



REVISION C: Amended following Clients comments, 29.11.21
 REVISION B: Amended following Clients comments, 16.09.21
 REVISION A: Amended following Clients comments, 16.09.21



1 NORTH STREET, SOUTHAMPTON, SOUTHAMPTON, HANTS, SO9 1JH
 TEL: 01703 606000 FAX: 01703 606001
 WWW.JELLISCONSULTANTS.CO.UK

PROPOSED PLANS AND ELEVATIONS

NEW BOUNDARY WALL

7 HAWKSTONE CLOSE
 NORTHAMPTON
 NN5 6RZ

SCALE 1:50/1:100(A1) DRAWING NO: SE/1302/16
 DATE 03.08.2021 DRAWN BY: L.C.

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 REGULATIONS ONLY AND ARE NOT FULL WORKING DRAWINGS.
 The contractor is to check and verify all building and site dimensions,
 levels and level invert levels at construction points before work starts. The
 contractor is to ensure that all work is carried out in accordance with the
 Building Regulations, Building Regulations, Construction
 (Design & Management) Regulations, Party Wall Act etc, whether or not
 specifically mentioned. The contractor is to ensure that all work is carried
 out in accordance with the Building Regulations and all other specialist
 documentation provided.

This drawing is not intended to show details of ground conditions or
 ground exploration. The location of ground exploration is to be agreed by the
 contractor. Any extent of full ground, investigations on or within the
 ground, should be further investigated by a suitable expert.

Do not scale. Work to given dimensions only.

A Specialist Consultant will be required to carry out calculations to prove
 the stability of the proposed wall. The contractor is to ensure that the
 drawings shown on this drawing are for reference purposes only
 and are to be used as a guide only. They are all to be reviewed on site
 or in terms of the new build sections to be verified on working drawings.





j) 2024/0819/FULL - 24 Millway Northampton NN5 6ES – Demolish exist single storey garage and store and construct new two storey ancillary building for home office, storage and games use.

SITE LOCATION PLAN
AREA 4 HA
SCALE: 1:1250 on A4
CENTRE COORDINATES: 472382 , 260664



Contractors shall check all dimensions before starting work and report any discrepancies to the architect.

REVISIONS	
No.	Description

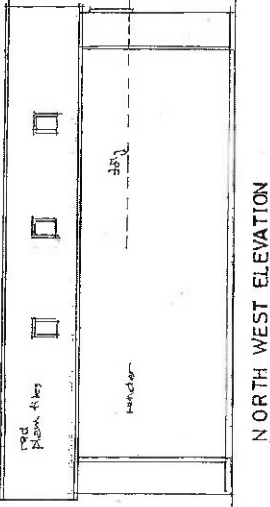
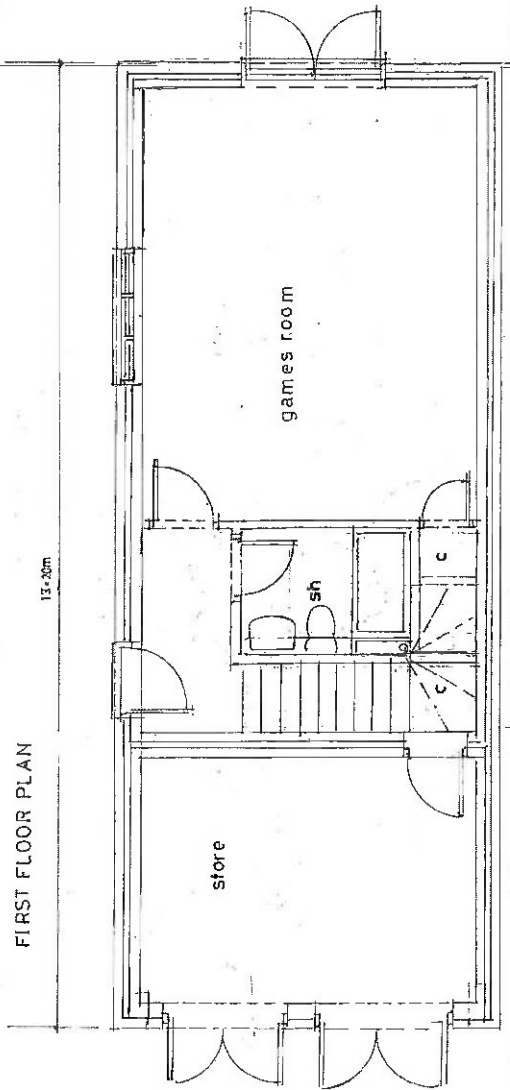
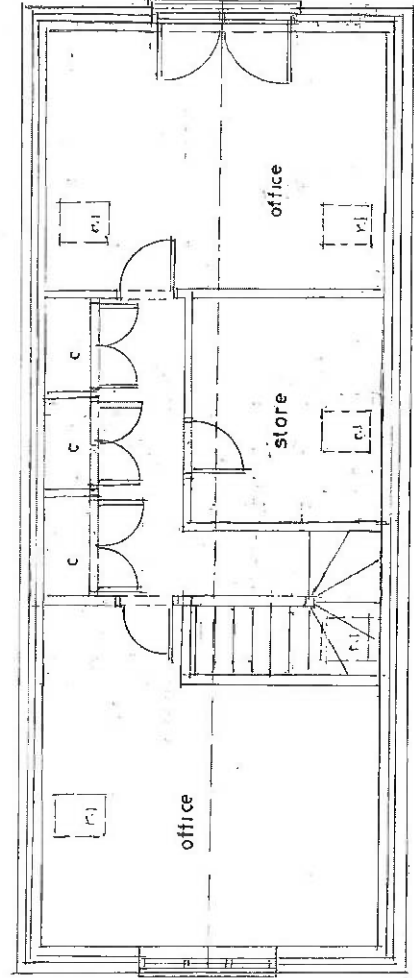
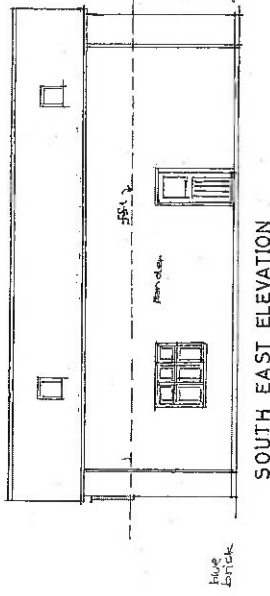
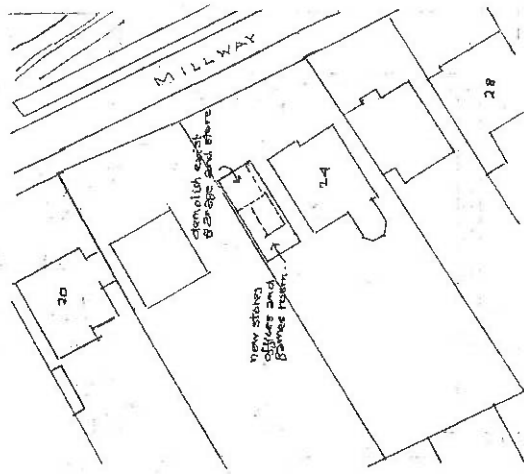
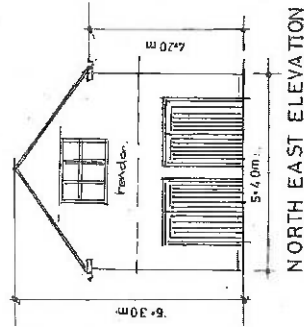
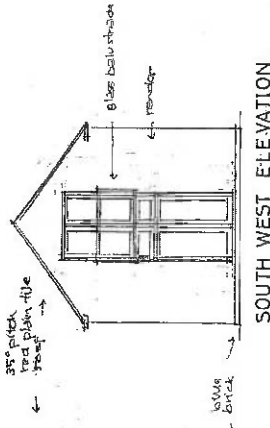
NOTES	
No.	Description

TITLE	
No.	Description

24 MILL WAY
DUST ON
PROPOSED

Scale	1/50	Date	1/100
Drawn			

TR DOBRASZCZYK RIBA
 Construction & Design Architects
 Northampton MK7 4PH
 Telephone 01834 779180
 Email: T.dobraszczyk.riba@gmail.com
 Drawing No. 2 827 / 2



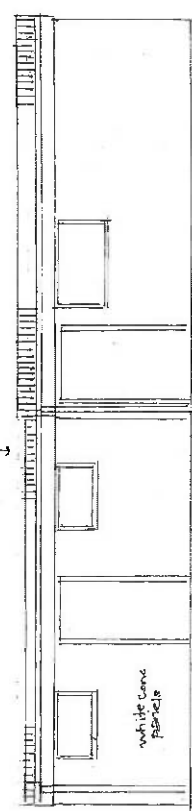
Contractors shall check all dimensions before starting work and report any discrepancies to the architect.

REVISIONS		
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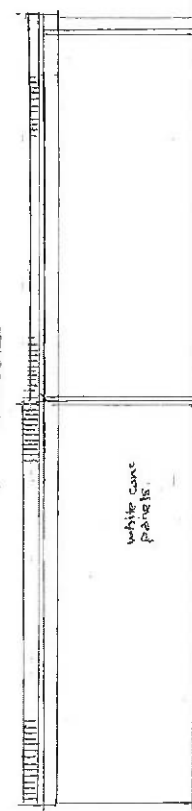
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No.	Description	Date

Title
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 DUSTON
 AS EXISTING

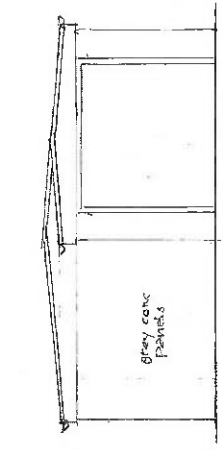
Scales 1/50
 Date Apr 23
 Drawn
 TR DOBRASZCZYK RIBA
 Cotswolds Lodge, Ashwapp,
 Northampton NN7 4RH
 Telephone 01604 776100
 E-mail Tr.dobraszczyk.riba@gmail.com
 Drawing No. 2627/1



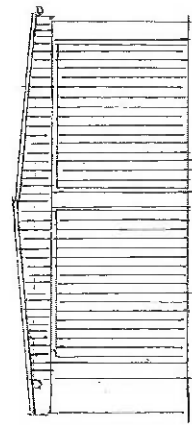
SOUTH EAST ELEVATION



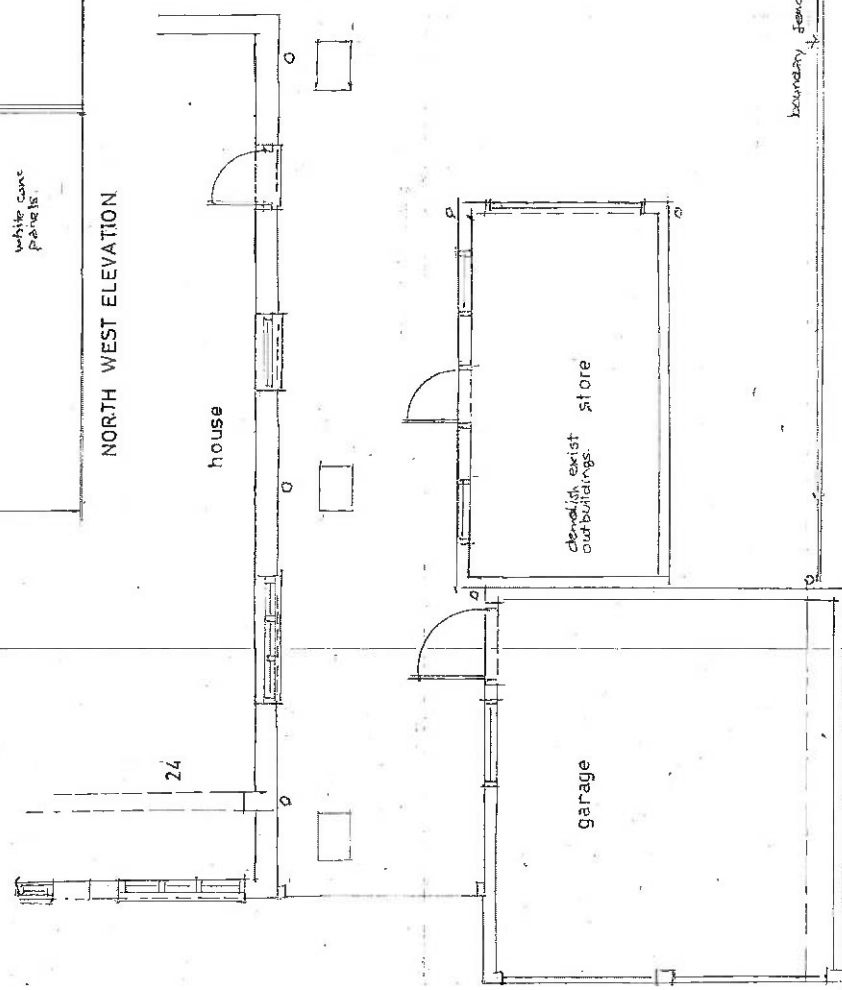
NORTH WEST ELEVATION



SOUTH WEST ELEVATION



NORTH EAST ELEVATION



GROUND FLOOR PLAN

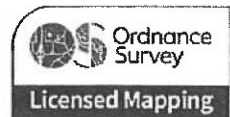
k) 2024/0383/FULL - 44 Park Lane Northampton NN5 6QD – Single storey rear extension.



44 Park Lane, Northampton, NN5 6QD



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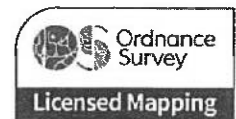


**UK
Planning
Maps**

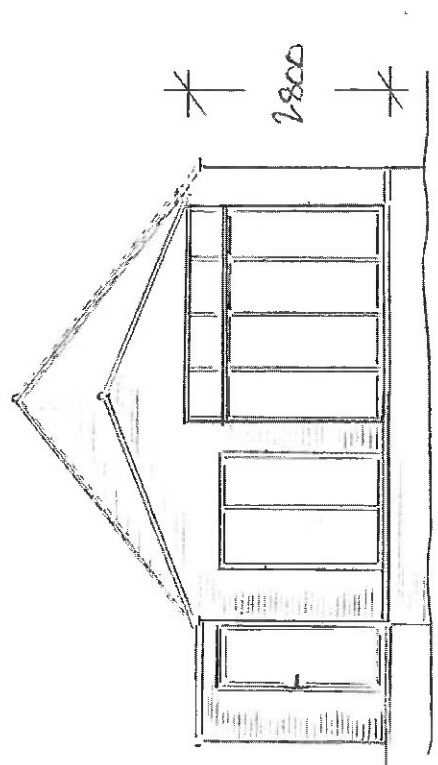
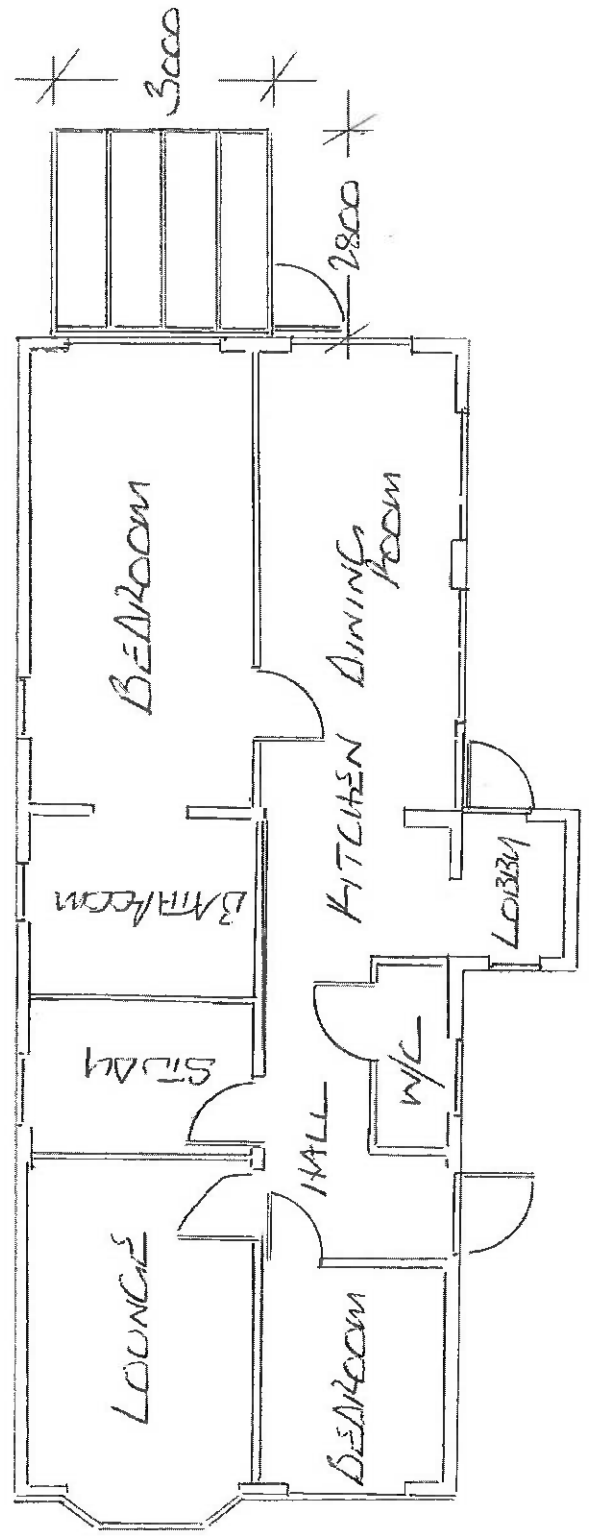
44 Park Lane, Northampton, NN5 6QD



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PROPOSED
FLOOR
PLAN

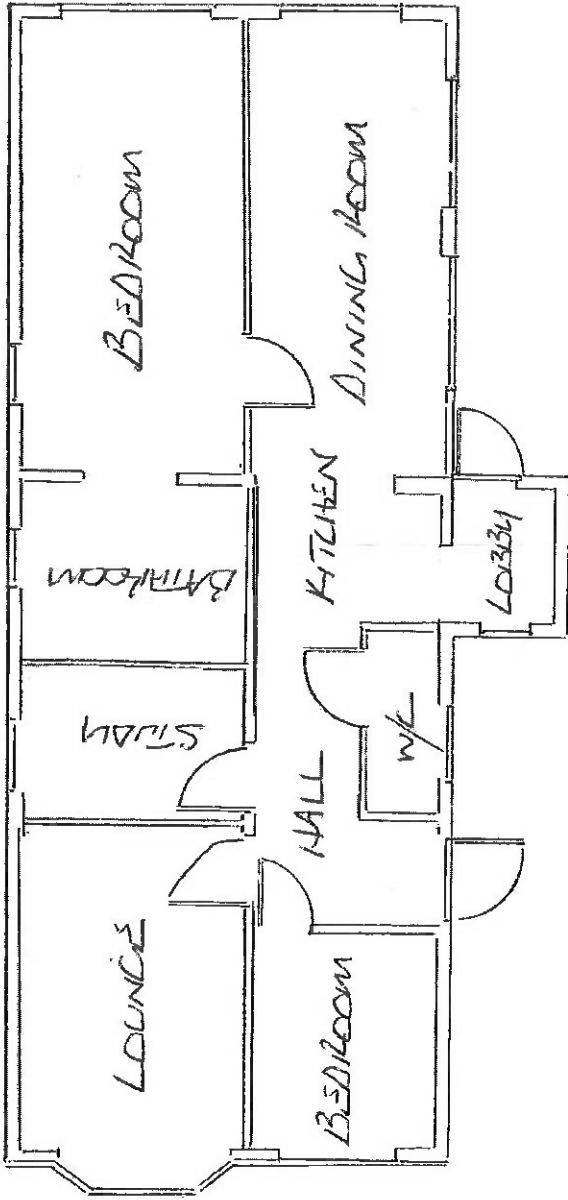


PROPOSED
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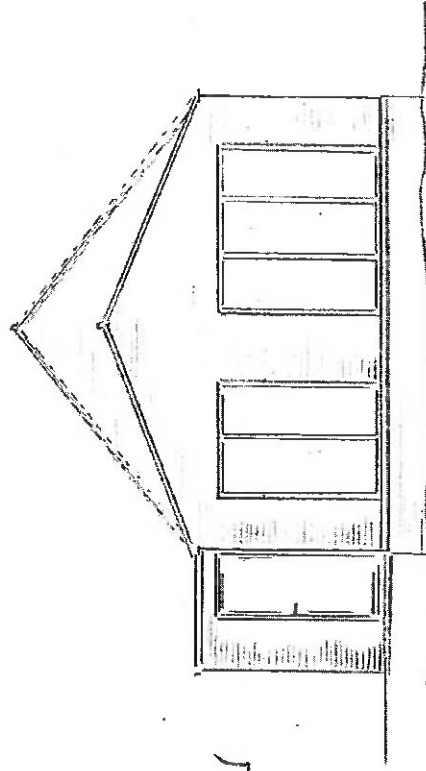


SCALE 1:100

EXISTING
FLOOR PLAN

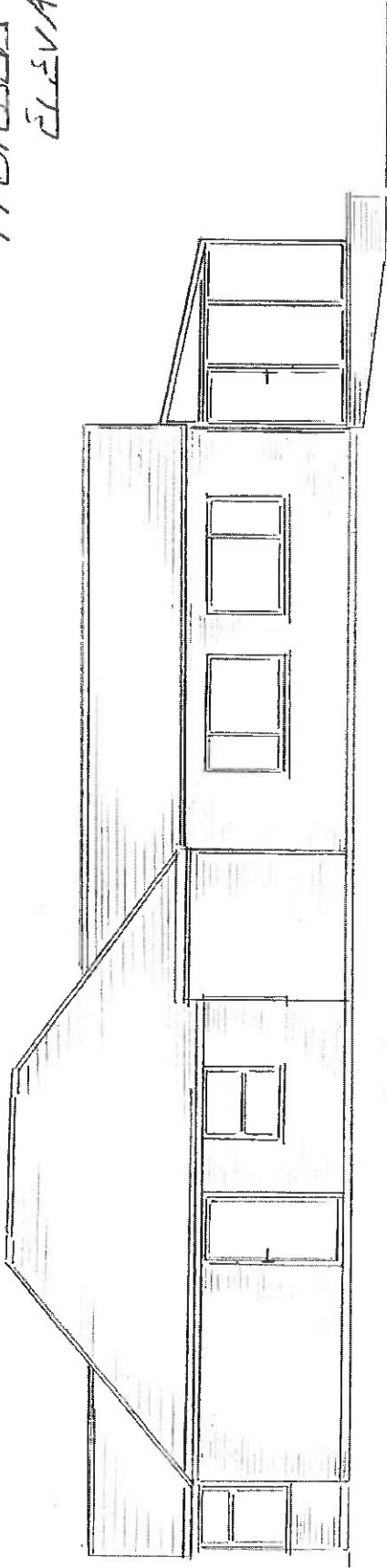


EXISTING
REAR ELEVATION

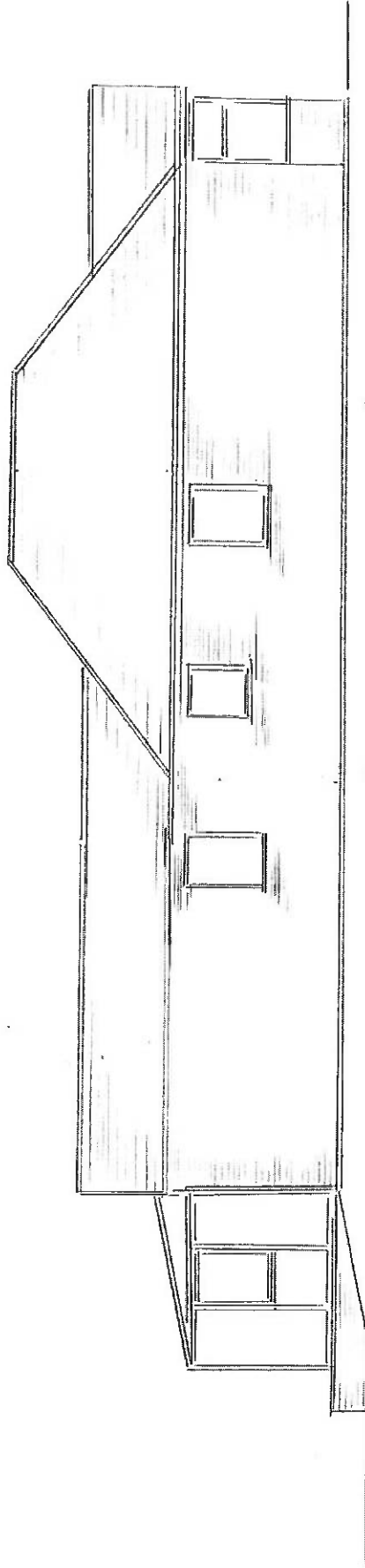


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PROPOSED
ELEVATIONS



SIDE ELEVATION

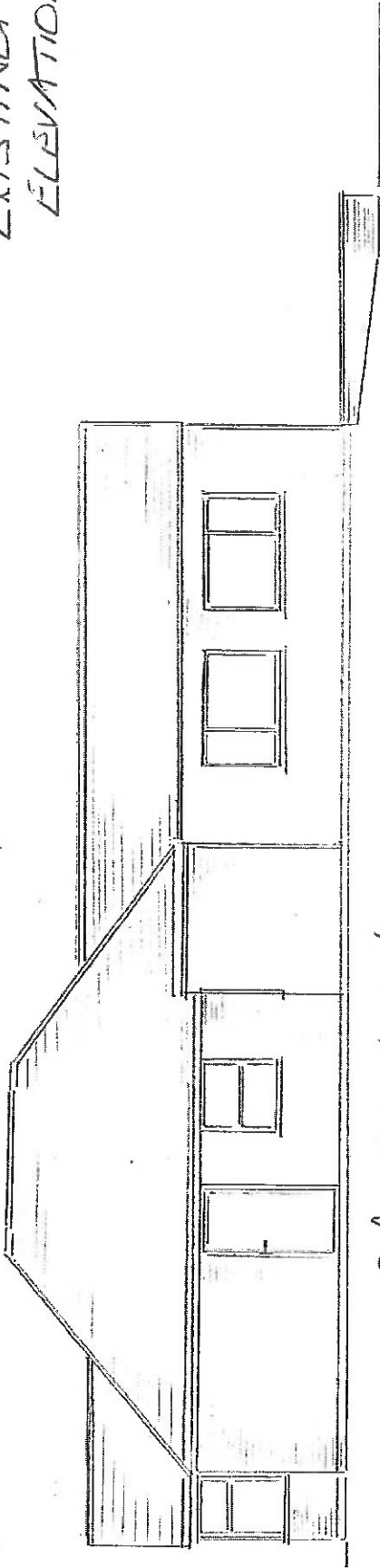


SIDE ELEVATION

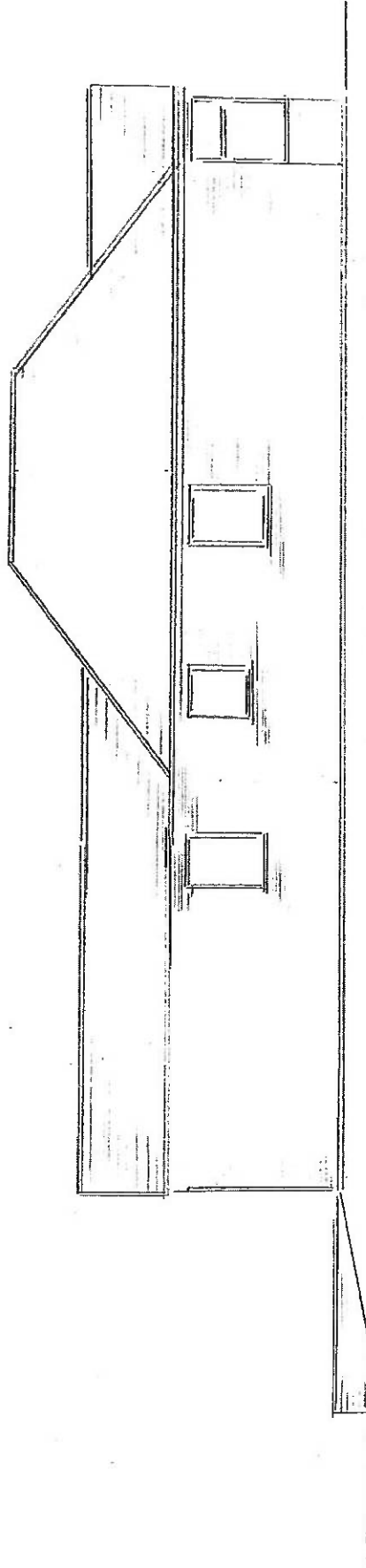


SCALE 1:100

EXISTING
ELEVATIONS



SIDE ELEVATION



SIDE ELEVATION



SCALE 1:100





